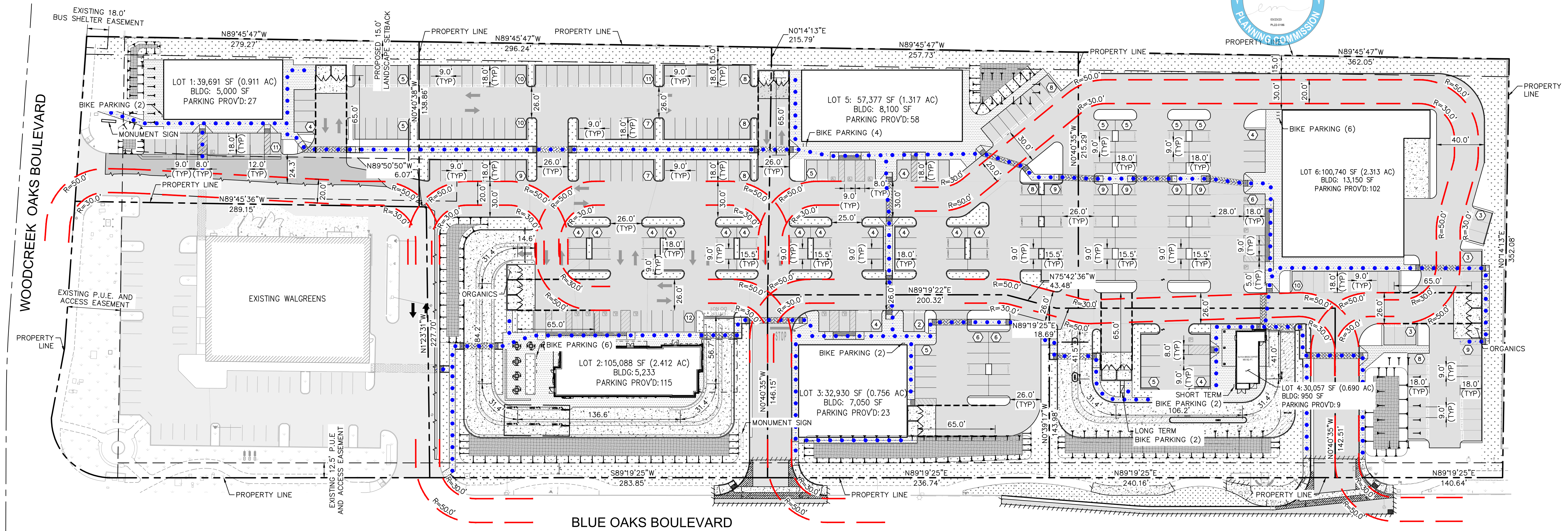




# PC EXHIBIT B



### LEGEND

|  |  |  |  |  |   |
|--|--|--|--|--|---|
|  | PROPERTY LINE  |  | PROPOSED ASPHALT CONCRETE                          |  | PROPOSED LANDSCAPE AREA                       |
|  | APPROXIMATE CIVIL LIMIT OF WORK                                  |  | PROPOSED CONCRETE SIDEWALK                         |  | PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER |
|  | EASEMENT OR SETBACK LINE   |  | PROPOSED HEAVY DUTY CONCRETE                       |  | PROPOSED RIPRAP                               |
|  | SETBACK LINE   |  | STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL |  |   |
|  | SAWCUT LINE  |  |  |  |   |
|  | ACCESSIBLE ADA PATH OF TRAVEL (FOR REFERENCE ONLY, DO NOT PAINT) |  |  |  |   |
|  | TRASH ENCLOSURE APPROACH (FOR REFERENCE ONLY, DO NOT PAINT)      |  |  |  |   |
|  | ROW PARKING COUNT  |  |  |  |   |

### ABBREVIATIONS

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | INV | - INVERT          |
| C/L   | - CENTERLINE       | LP  | - LOW POINT       |
| CO    | - CLEANOUT         | MH  | - MANHOLE         |
| CONC. | - CONCRETE         | N   | - NORTH           |
| DI    | - DRAIN INLET      | P/L | - PROPERTY LINE   |
| E     | - ELECTRIC OR EAST | R   | - RIDGE OR RADIUS |
| ESMT  | - EASEMENT         | R/W | - RIGHT-OF-WAY    |
| FF    | - FINISHED FLOOR   | S   | - SOUTH           |
| FG    | - FINISHED GRADE   | SD  | - STORM DRAIN     |
| FL    | - FLOW LINE        | SS  | - SANITARY SEWER  |
| FS    | - FINISHED SURFACE | TC  | - TOP OF CURB     |
| FW    | - FIRE WATER       | VIF | - VERIFY IN FIELD |
| GB    | - GRADE BREAK      | W   | - WATER OR WEST   |
| HP    | - HIGH POINT       |     |                   |

### GENERAL NOTES

- RETAIL CENTER WILL PROVIDE RECIPROCAL EASEMENTS BETWEEN THE LOTS FOR ACCESS, DRAINAGE, AND UTILITIES.
- RETAIL CENTER WILL PROVIDE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL.
- PAVING MATERIAL OF THE WALKWAYS THROUGHOUT THE CENTER WILL BE CONSISTENT WITH THE ARCHITECTURAL TYPE OF THE CENTER. CENTER WILL PROVIDE STAMPED AND/OR COLORED CONCRETE OR PAVERS AS A DECORATIVE ACCENT THROUGHOUT THE CENTER TO PROVIDE A PATH OF TRAVEL FOR PEDESTRIANS.

| LOT   | BUILDING AREA (SF) | REQUIRED PARKING STALLS* | TOTAL PROVIDED PARKING STALLS | PROVIDED COMPACT PARKING STALLS (30% MAX ALLOWED) | REQUIRED SHORT TERM BICYCLE PARKING | PROVIDED SHORT TERM BICYCLE PARKING |
|-------|--------------------|--------------------------|-------------------------------|---|-------------------------------------|-------------------------------------|
| LOT 1 | 5,000              | 25                       | 25                            | 0   | 2                                   | 2                                   |
| LOT 2 | 5,233              | 53**                     | 114                           | 12 (11%)  | 6                                   | 6                                   |
| LOT 3 | 7,050              | 36                       | 23                            | 2 (9%)  | 2                                   | 2                                   |
| LOT 4 | 950                | 10**                     | 9                             | 0   | 1                                   | 2                                   |
| LOT 5 | 8,100              | 41                       | 58                            | 14 (24%)  | 3                                   | 4                                   |
| LOT 6 | 13,150             | 66                       | 102                           | 20 (20%)  | 6                                   | 6                                   |
| TOTAL | -                  | 231                      | 331                           | 48 (15%)  | 20                                  | 22                                  |

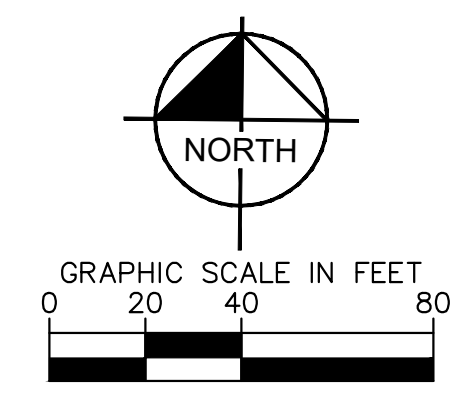
| LOT   | PROVIDED PARKING STALLS | ADA REQUIRED           | ADA PROVIDED           | EV CAPABLE REQUIRED* | EV CAPABLE PROVIDED | EVCS REQUIRED*   | EVCS PROVIDED    |
|-------|-------------------------|------------------------|------------------------|----------------------|---------------------|------------------|------------------|
| LOT 1 | 27                      | 2 TOTAL (1 VAN, 1 STD) | 2 TOTAL (1 VAN, 1 STD) | 8                    | 8                   | 2 (1 VAN)        | 2 (1 VAN, 1 STD) |
| LOT 2 | 115                     | 5 TOTAL (1 VAN, 4 STD) | 5 TOTAL (1 VAN, 4 STD) | 25                   | 25                  | 6 (1 VAN, 1 STD) | 6 (1 VAN, 1 STD) |
| LOT 3 | 23                      | 1 TOTAL (1 VAN)        | 2 TOTAL (1 VAN, 1 STD) | 4                    | 4                   | 0                | 0                |
| LOT 4 | 9                       | 1 TOTAL (1 VAN)        | 1 TOTAL (1 VAN)        | 0                    | 0                   | 0                | 0                |
| LOT 5 | 58                      | 3 TOTAL (1 VAN, 2 STD) | 3 TOTAL (1 VAN, 2 STD) | 13                   | 13                  | 3 (1 VAN)        | 3 (1 VAN, 1 STD) |
| LOT 6 | 102                     | 5 TOTAL (1 VAN, 4 STD) | 5 TOTAL (2 VAN, 3 STD) | 25                   | 26                  | 6 (1 VAN, 1 STD) | 6 (1 VAN, 1 STD) |
| TOTAL | 334                     | 17 TOTAL               | 18 TOTAL               | 75 TOTAL             | 76 TOTAL            | 17 TOTAL         | 17 TOTAL         |

\*DESIGNED AND PLANNED AT ONE (1) PARKING SPACE PER 200 SF OF FLOOR AREA PER CHAPTER 19.26, SECTION 19.26.030 OF CITY OF ROSEVILLE MUNICIPAL CODE. EACH TENANT LOT SHALL UTILIZE THE PARKING REQUIREMENT FOR THEIR PROPOSED LAND USE AS EACH TENANT LOT IS LEASED PER CHAPTER 19.26, SECTION 19.26.030 OF CITY OF ROSEVILLE MUNICIPAL CODE.

\*THE REQUIRED NUMBER OF EV CAPABLE STALLS AND EVCS WITH EVSE STALLS ARE CALCULATED PER 2022 CALGREEN BUILDING CODE

\*\*DESIGNED AND PLANNED AT ONE (1) PARKING SPACE PER 100 SF OF FLOOR AREA FOR DRIVE-THRU.

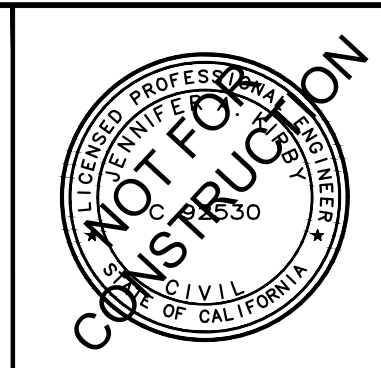
\*\*\*THE RETAIL CENTER WILL HAVE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL. PARCELS 3 AND 4 ARE UNDERPAKED INDIVIDUALLY, HOWEVER, AS A WHOLE, THE RETAIL CENTER SURPASSES CITY PARKING REQUIREMENT.



4637 CHABOT DRIVE, SUITE 350, PLEASANTON, CA 94588  
 PHONE: 925-398-4840 FAX: 925-398-4849  
 WWW.KIMLEY-HORN.COM

|             |            |
|-------------|------------|
| KHA PROJECT | 097672126  |
| DATE        | 02/17/2023 |
| SCALE       | AS SHOWN   |
| DESIGNED BY | SAL        |
| DRAWN BY    | OKC        |
| CHECKED BY  | JAK        |

**BLUE OAKS SHOPPING CENTER**  
 1480 BLUE OAKS BOULEVARD  
 ROSEVILLE, CA 95747



PRELIMINARY SITE PLAN

SHEET NUMBER

C1.0

K:\BAY\_LDEVA\Chick-Fit-A\097672126 - CFA #5032 - Blue Oaks & Woodcreek Oaks (Roseville) CAD Exhibits\Entirements\C1.0 PRELIMINARY SITE PLAN.dwg



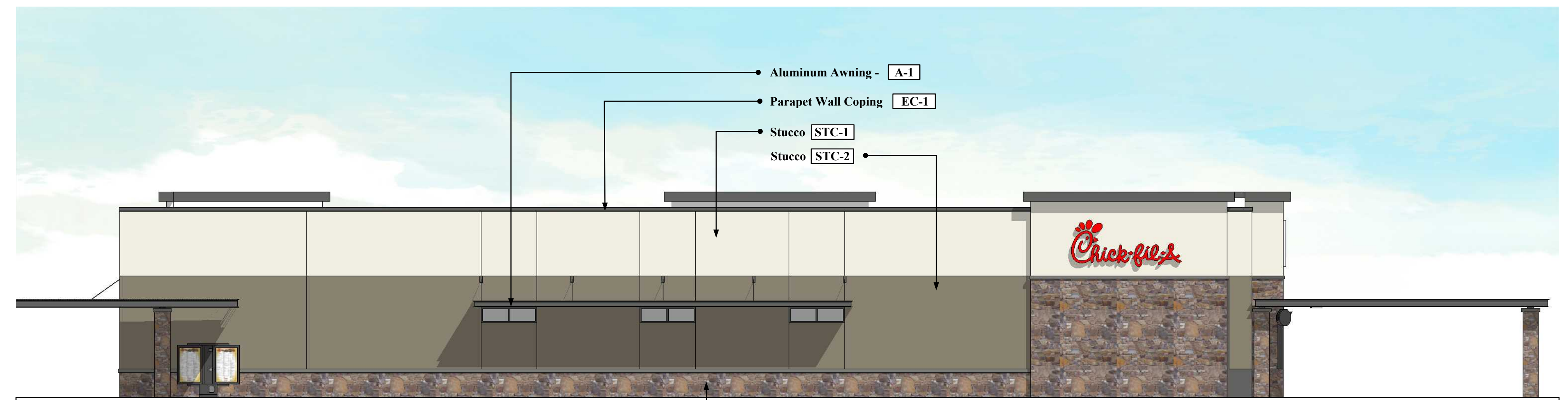
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



PRELIMINARY ELEVATIONS  
Roseville, CA

File Name: 22-172 Color Elevations

06-27-2022 Revised: 11-03-2022  
02-17-2023 Revised: 03-02-2023

**Note:**  
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

**COLOR AND MATERIAL LEGEND**

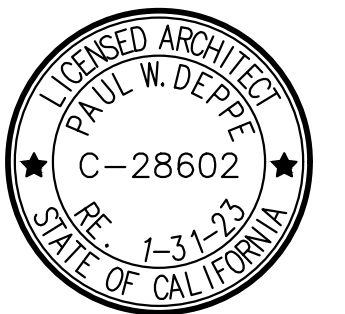
- [STN-1] Stone Veneer - Eldorado Stone "Cypress Ridge Orchard"
- [STC-1] Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
- [STC-2] Stucco - Paint Sherwin Williams #SW6172 "Hardware"
- [STC-3] Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
- [EC-1] Parapet Wall Coping - Durolast/Exceptional Metals - Dark Bronze (Matte)
- [A-1] Aluminum Awning - Color: "Dark Bronze"
- [ST-1] YKK Storefront System - Color: "Dark Bronze"





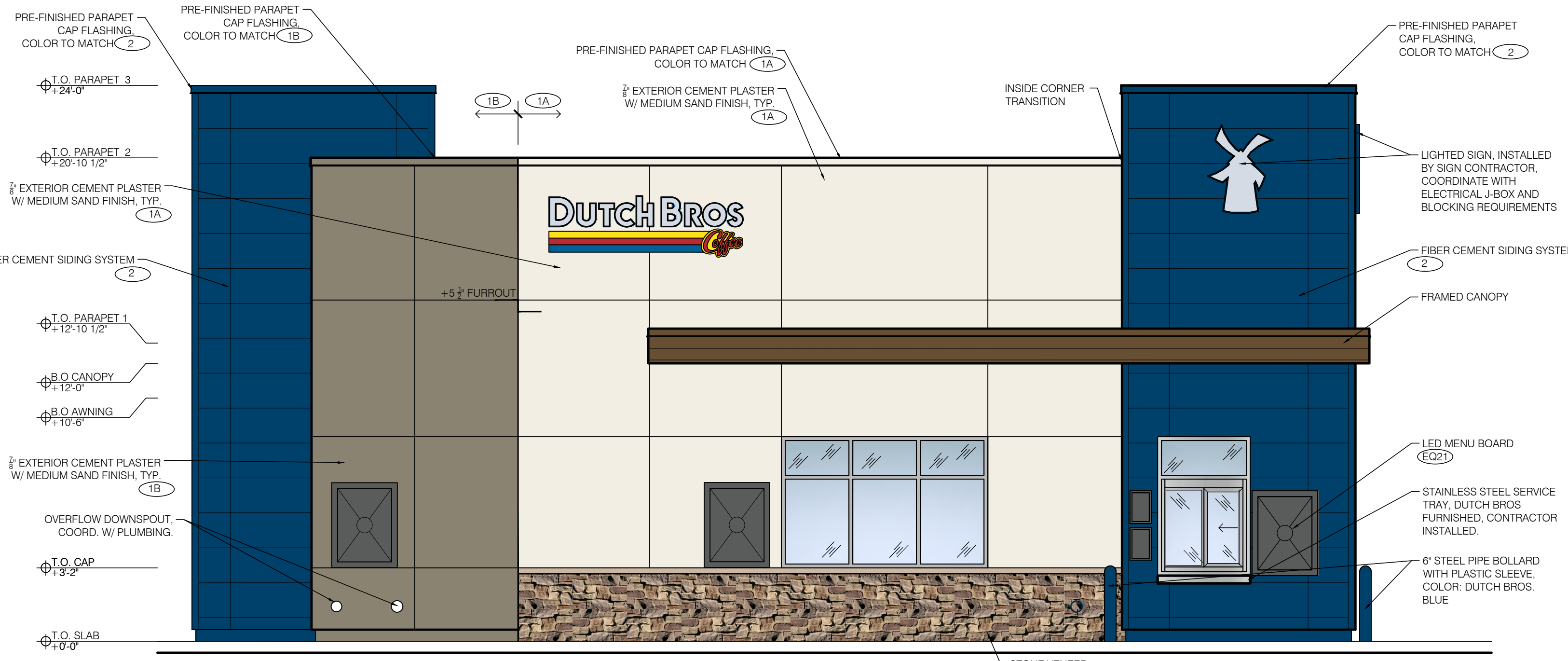
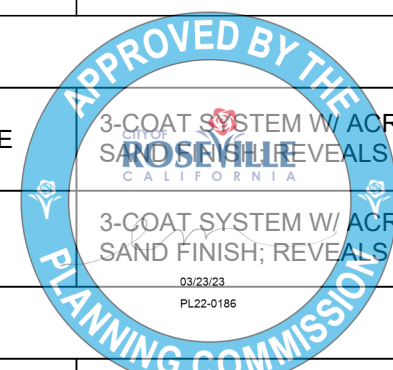
1330 OLYMPIC BLVD.  
SANTA MONICA, CALIFORNIA 90404  
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

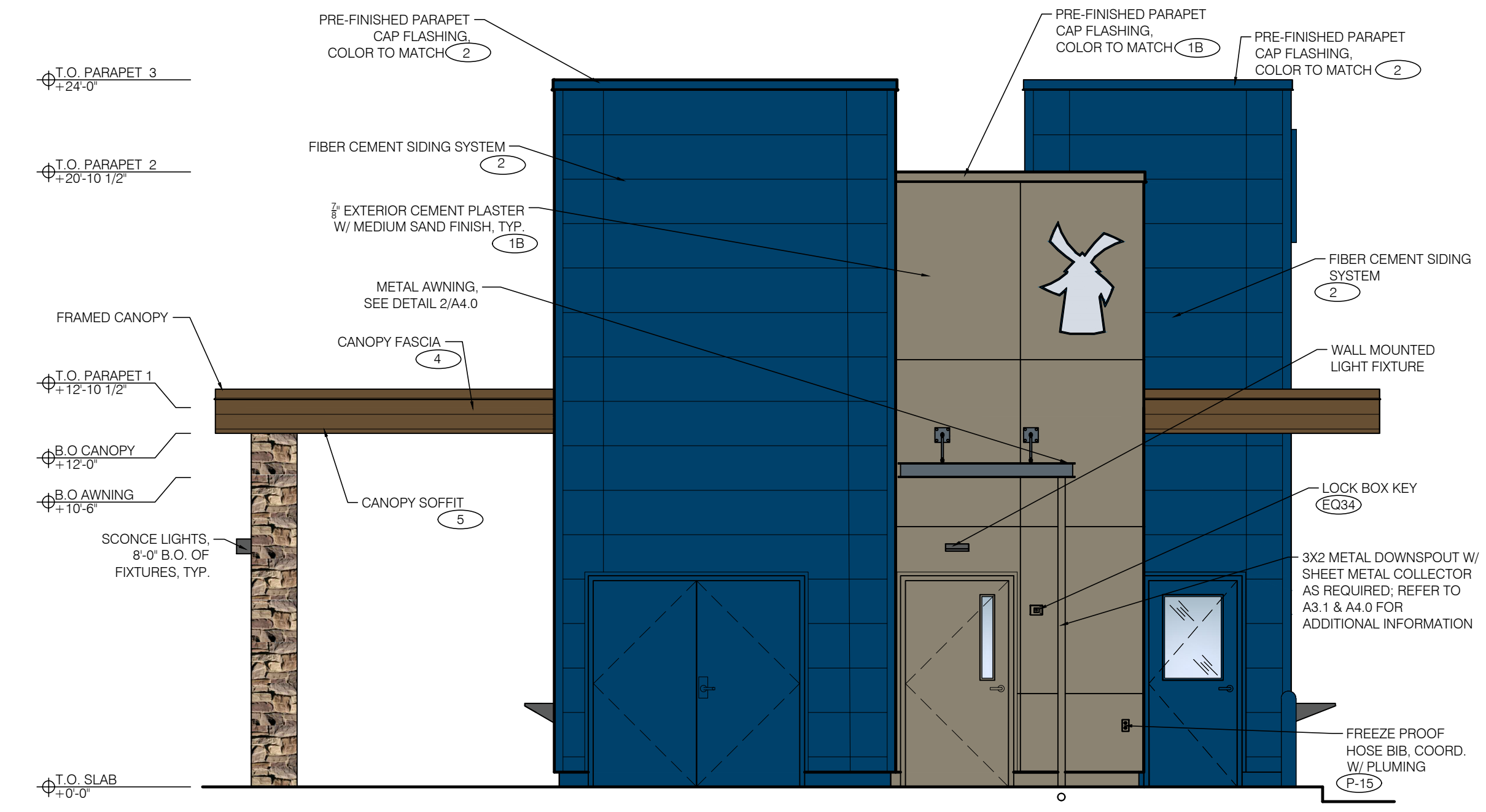


### EXTERIOR FINISH SCHEDULE

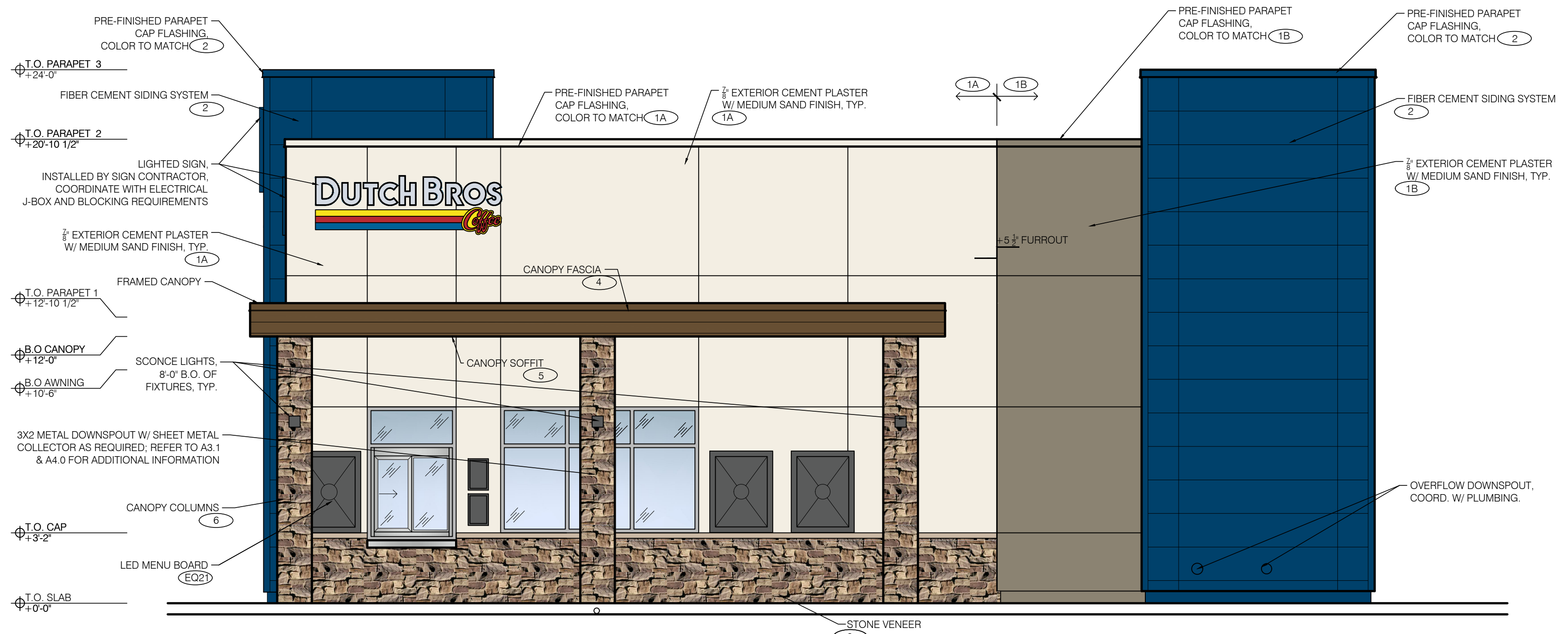
| ID TAG  | MATERIAL                | MANUFACTURER     | MODEL  | REMARKS  |
|---|-------------------------|------------------|--|--|
| ZONE 1 (BODY)   |                         |                  |  |  |
| 1A  | EXTERIOR CEMENT PLASTER | SHERWIN WILLIAMS | SW7566 WESTHIGHLAND WHITE                      | 3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH, REVEALS AS SHOWN    |
| 1B  | EXTERIOR CEMENT PLASTER | SHERWIN WILLIAMS | SW6172 HARDWARE                                | 3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN    |
| ZONE 2 (TOWER) (ZZ)   |                         |                  |  |  |
| 2   | FIBER CEMENT SIDING     | NICHIHA          | ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS | FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE |
| ZONE 3 (3'-2" BASE)   |                         |                  |  |  |
| 3   | STONE VENEER            | ELDORADO STONE   | CLIFFSTONE, ORCHARD CYPRESS RIDGE              |  |
|   | STONE VENEER SILL       | ELDORADO STONE   | SNAPPED EDGE WAINSCOT SILL; SAND               |  |
| ZONE 4 (FRAMED CANOPY)  |                         |                  |  |  |
| 4   | FASCIA                  | NICHIHA          | VINTAGE WOOD - AWP-3030 - CEDAR                | ORIENTATION: HORIZONTAL; CAP FLASHING TO MATCH COLOR CEDAR       |
| 5   | SOFFIT                  | HEWN ELEMENTS    | NATURAL NORTHWESTERN SPRUCE                    | 1X6, T&G, 3/4" REVEAL  |
| 6   | COLUMNS                 | ELDORADO STONE   | CLIFFSTONE, ORCHARD CYPRESS RIDGE              |  |
| NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION |                         |                  |  |  |



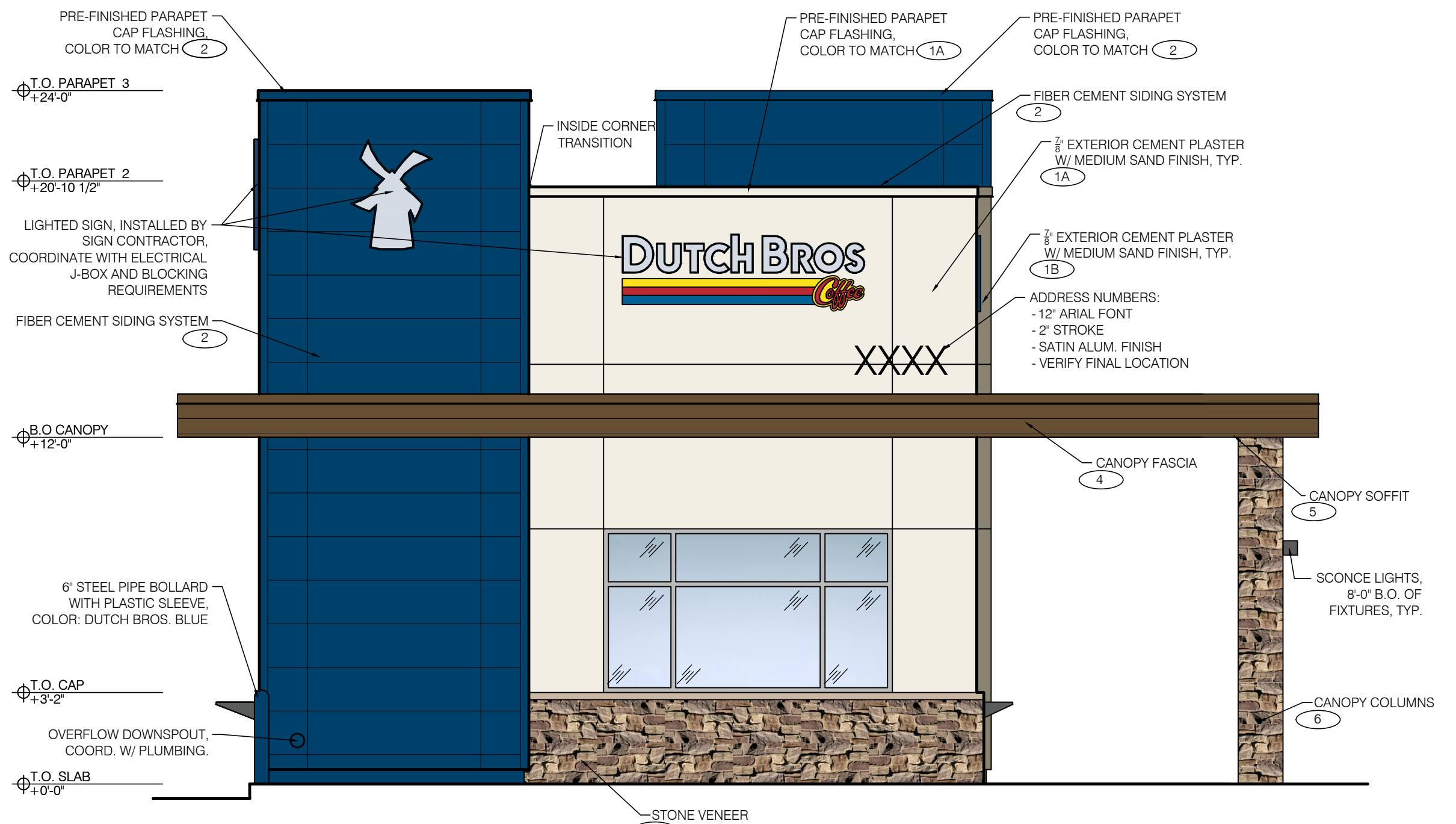
4 EAST ELEVATION - DRIVE-THRU WINDOW SCALE: 1/4" = 1'-0"



3 SOUTH-REAR ELEVATION SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - WALK-UP WINDOW SCALE: 1/4" = 1'-0"



1 NORTH-FRONT ELEVATION SCALE: 1/4" = 1'-0"

Project No: CA1506  
Dutch Bros Coffee - Freestanding Store  
2545 - A1 PROTOTYPE  
1478 BLUE OAKS BLVD.  
ROSEVILLE, CA 95747

DATE: 06/01/2022  
REV: DATE: DESCRIPTION:

SHEET NAME:

BUILDING ELEVATIONS COLOR

SHEET NUMBER:

A6.1

# PC EXHIBIT D



**STC-1 STUCCO**

Color to Match Sherwin Williams SW 7566 "Westhighland White"



**ST-1 STORE FRONT**

**A-1 METAL CANOPIES**

**EC-1 PARAPET WALL COPING**

Color: "Dark Bronze"



**STC-2 STUCCO**

Color to Match Sherwin Williams SW 6172 "Hardware"



**STC-3 STUCCO**

Color to Match Sherwin Williams CFA Custom "Urban Night"

**STN-1 STONE VENEER**

Eldorado Stone - "Cypress Ridge"  
Color: Orchard





EXTERIOR CEMENT PLASTER  
SHERWIN WILLIAMS - SW7566  
COLOR: WESTHIGHLAND WHITE



STONE VENEER AT WAINSCOT  
ELDORADO STONE  
COLOR: ORCHARD CYPRESS RIDGE



EXTERIOR CEMENT PLASTER  
SHERWIN WILLIAMS - SW6172  
COLOR: HARDWARE



WAINSCOT SILL  
ELDORADO STONE - SNAPPED EDGE  
COLOR: SAND



FIBER CEMENT SIDING AT TOWER  
NICHHA - ILLUMINATION AWP-1818  
COLOR: DUTCH BROS BLUE

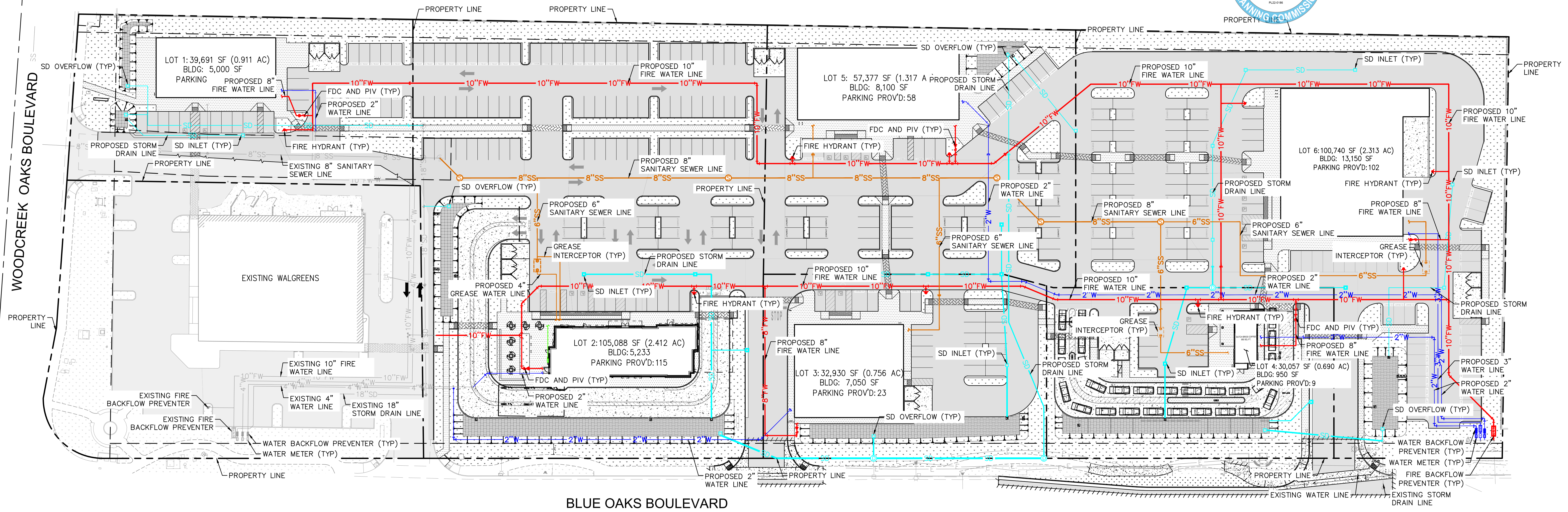


CANOPY FASCIA  
NICHHA - VINTAGE WOOD AWP-3030  
COLOR: CEDAR



Dutch Bros Coffee CA1506  
1478 Blue Oaks Blvd.  
Roseville, CA 95747





BLUE OAKS BOULEVARD

LEGEND

|       |                                  |           |  |
|-------|----------------------------------|-----------|--|
| ---   | PROPERTY LINE                    | [Pattern] | PROPOSED ASPHALT CONCRETE                          |
| ---   | APPROXIMATE CIVIL LIMIT OF WORK  | [Pattern] | PROPOSED CONCRETE SIDEWALK                         |
| ---   | EASEMENT OR SETBACK LINE         | [Pattern] | PROPOSED HEAVY DUTY CONCRETE                       |
| X"W   | EXISTING WATER LINE              | [Pattern] | STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL |
| X"SS  | EXISTING SANITARY SEWER LINE     | [Pattern] | PROPOSED LANDSCAPE AREA                            |
| X"SD  | EXISTING STORM DRAIN LINE        | [Pattern] | PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER      |
| 2"W   | PROPOSED 2" DOMESTIC WATER LINE  | [Pattern] | PROPOSED RIPRAP                                    |
| 3"W   | PROPOSED 3" DOMESTIC WATER LINE  |           |  |
| 6"SS  | PROPOSED 6" SANITARY SEWER LINE  |           |  |
| 8"SS  | PROPOSED 8" SANITARY SEWER LINE  |           |  |
| 6"FW  | PROPOSED 6" FIRE WATER LINE      |           |  |
| 10"FW | PROPOSED 10" FIRE WATER LINE     |           |  |
| SD    | PROPOSED STORM DRAIN LINE        |           |  |
| ○     | PROPOSED SANITARY SEWER CLEANOUT |           |  |
| □     | PROPOSED STORM DRAIN INLET       |           |  |
| ⊙     | PROPOSED STORM DRAIN MANHOLE     |           |  |
| ⊙     | PROPOSED SANITARY SEWER MANHOLE  |           |  |

UTILITY NOTES

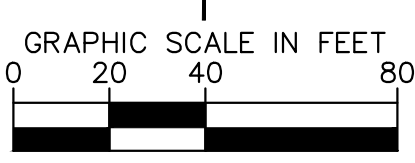
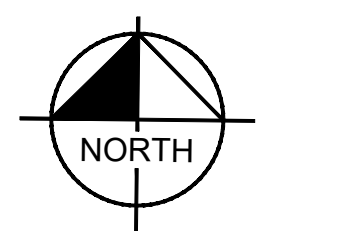
- ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
- ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POT-HOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ABBREVIATIONS

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | HP  | - HIGH POINT      |
| C/L   | - CENTERLINE       | INV | - INVERT          |
| CO    | - CLEANOUT         | LP  | - LOW POINT       |
| CONC. | - CONCRETE         | MH  | - MANHOLE         |
| DI    | - DRAIN INLET      | N   | - NORTH           |
| E     | - ELECTRIC OR EAST | P/L | - PROPERTY LINE   |
| ESMT  | - EASEMENT         | R   | - RIDGE OR RADIUS |
| FF    | - FINISHED FLOOR   | R/W | - RIGHT-OF-WAY    |
| FG    | - FINISHED GRADE   | S   | - SOUTH           |
| FL    | - FLOW LINE        | SD  | - STORM DRAIN     |
| FS    | - FINISHED SURFACE | SS  | - SANITARY SEWER  |
| FW    | - FIRE WATER       | TC  | - TOP OF CURB     |
| GB    | - GRADE BREAK      | VIF | - VERIFY IN FIELD |
|       |                    | W   | - WATER OR WEST   |



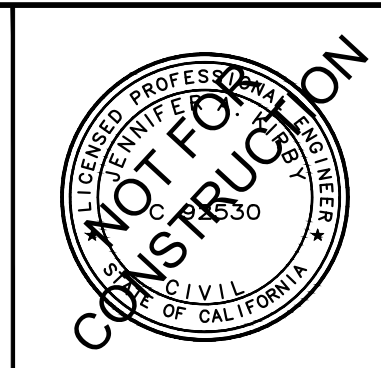
K:\BAY\_LDEV\chick-fr-a\097672126 - cto #2032 - Blue Oaks & Woodcreek Oaks (casavillo)\CAD Exhibits\entitlements\C2.0 PRELIMINARY UTILITY PLAN.dwg



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PHONE: 925-398-4840 FAX: 925-398-4849  
WWW.KIMLEY-HORN.COM

|             |            |
|-------------|------------|
| KHA PROJECT | 097672126  |
| DATE        | 02/17/2023 |
| SCALE       | AS SHOWN   |
| DESIGNED BY | SAL        |
| DRAWN BY    | OKC        |
| CHECKED BY  | JAK        |

**BLUE OAKS SHOPPING CENTER**  
1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747



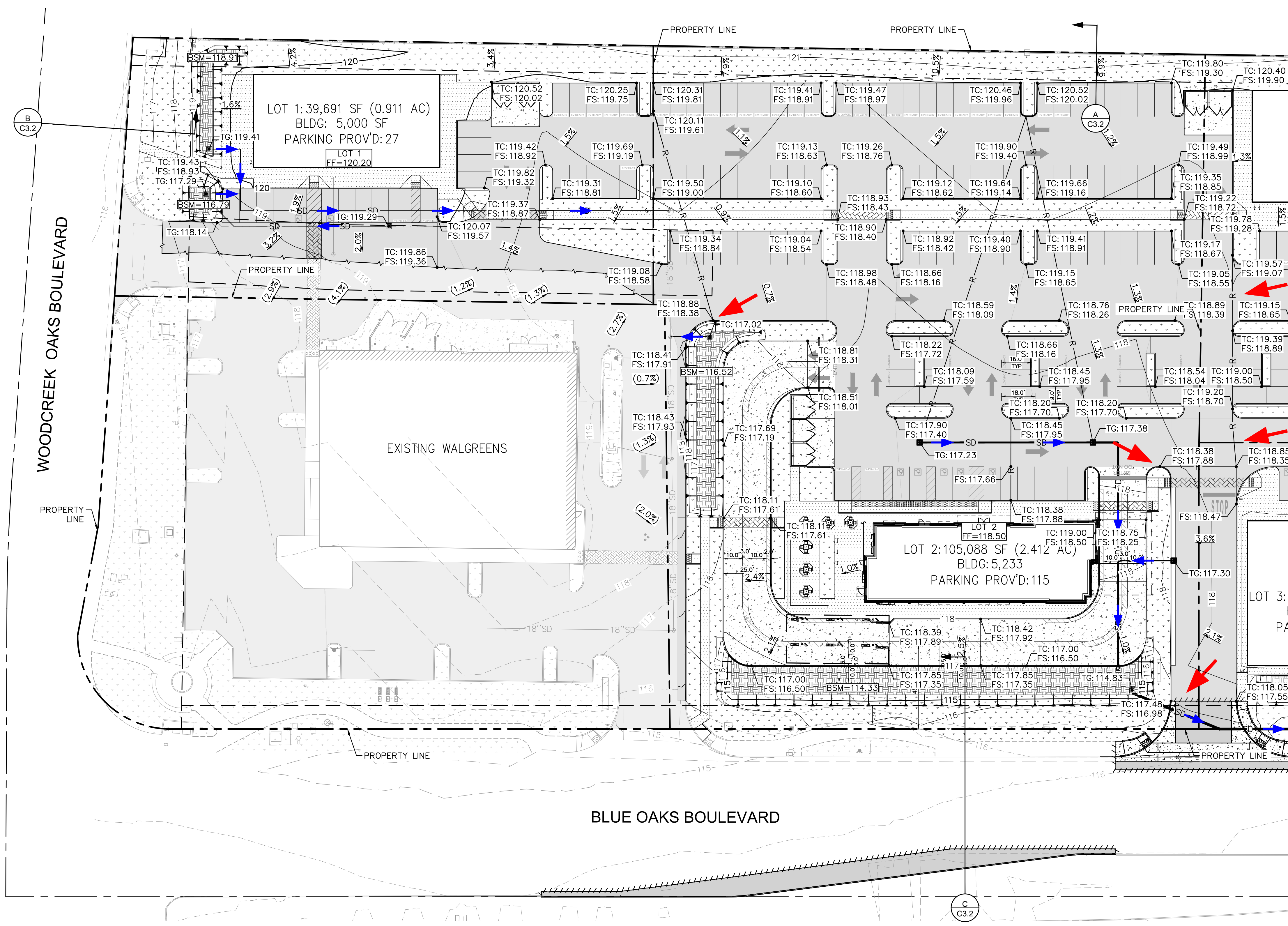
PRELIMINARY UTILITY PLAN

SHEET NUMBER

C2.0

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |

K:\BAY\_LDEV\check-ff-e-097672126-ctb\_#5032 - Blue Oaks & Woodcreek Oaks (casville)\CAD Exhibits\entitlements\C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN.dwg  
This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**LEGEND**

- PROPERTY LINE
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- CENTERLINE
- EASEMENT LINE
- SAWCUT LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- FLOW LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- GRADE BREAK LINE
- POINT OF OVERLAND RELEASE
- STORM DRAIN FLOW ARROW
- SURFACE DRAINAGE ARROW
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- PROPOSED FLOW (DIRECTION AND SLOPE)
- PROPOSED ASPHALT CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
- PROPOSED LANDSCAPE AREA
- PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
- PROPOSED RIPRAP

**EXISTING UTILITY NOTE**

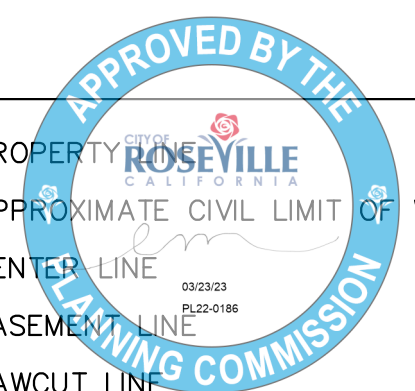
THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

**GENERAL NOTES**

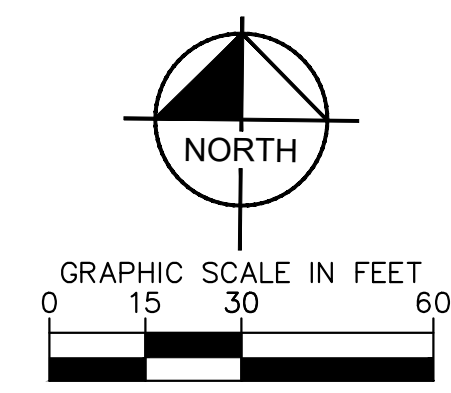
1. SITE GRADING AND DRAINAGE SYSTEM SHALL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
2. SURFACE WATER WILL DRAIN AWAY FROM THE BUILDING. WHERE PLAUSIBLE, GRADES SHALL FALL A MINIMUM OF 5% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) PER CGC SECTION 1804.4. SEE HEREON FOR CONSTRUCTION DETAILS.
3. CONTRACTOR TO VERIFY EXISTING SLOPES IN ADA STALLS ARE COMPLIANT, 2% MAXIMUM IN ANY DIRECTION.

**ABBREVIATIONS**

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | HP  | - HIGH POINT      |
| C/L   | - CENTERLINE       | INV | - INVERT          |
| CO    | - CLEANOUT         | LP  | - LOW POINT       |
| CONC. | - CONCRETE         | MH  | - MANHOLE         |
| DI    | - DRAIN INLET      | N   | - NORTH           |
| E     | - ELECTRIC OR EAST | P/L | - PROPERTY LINE   |
| ESMT  | - EASEMENT         | R   | - RIDGE OR RADIUS |
| FF    | - FINISHED FLOOR   | R/W | - RIGHT-OF-WAY    |
| FG    | - FINISHED GRADE   | S   | - SOUTH           |
| FL    | - FLOW LINE        | SD  | - STORM DRAIN     |
| FS    | - FINISHED SURFACE | SS  | - SANITARY SEWER  |
| FW    | - FIRE WATER       | TC  | - TOP OF CURB     |
| GB    | - GRADE BREAK      | VIF | - VERIFY IN FIELD |
|       |                    | W   | - WATER OR WEST   |



SEE SHEET C4.1 FOR CONTINUATION



| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |
|     |           |      |    |

**Kimley»Horn**

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PHONE: 925-398-4840 FAX: 925-398-4849  
WWW.KIMLEY-HORN.COM

|                          |
|--------------------------|
| KHA PROJECT<br>097672126 |
| DATE<br>02/17/2023       |
| SCALE AS SHOWN           |
| DESIGNED BY SAL          |
| DRAWN BY OKC             |
| CHECKED BY JAK           |

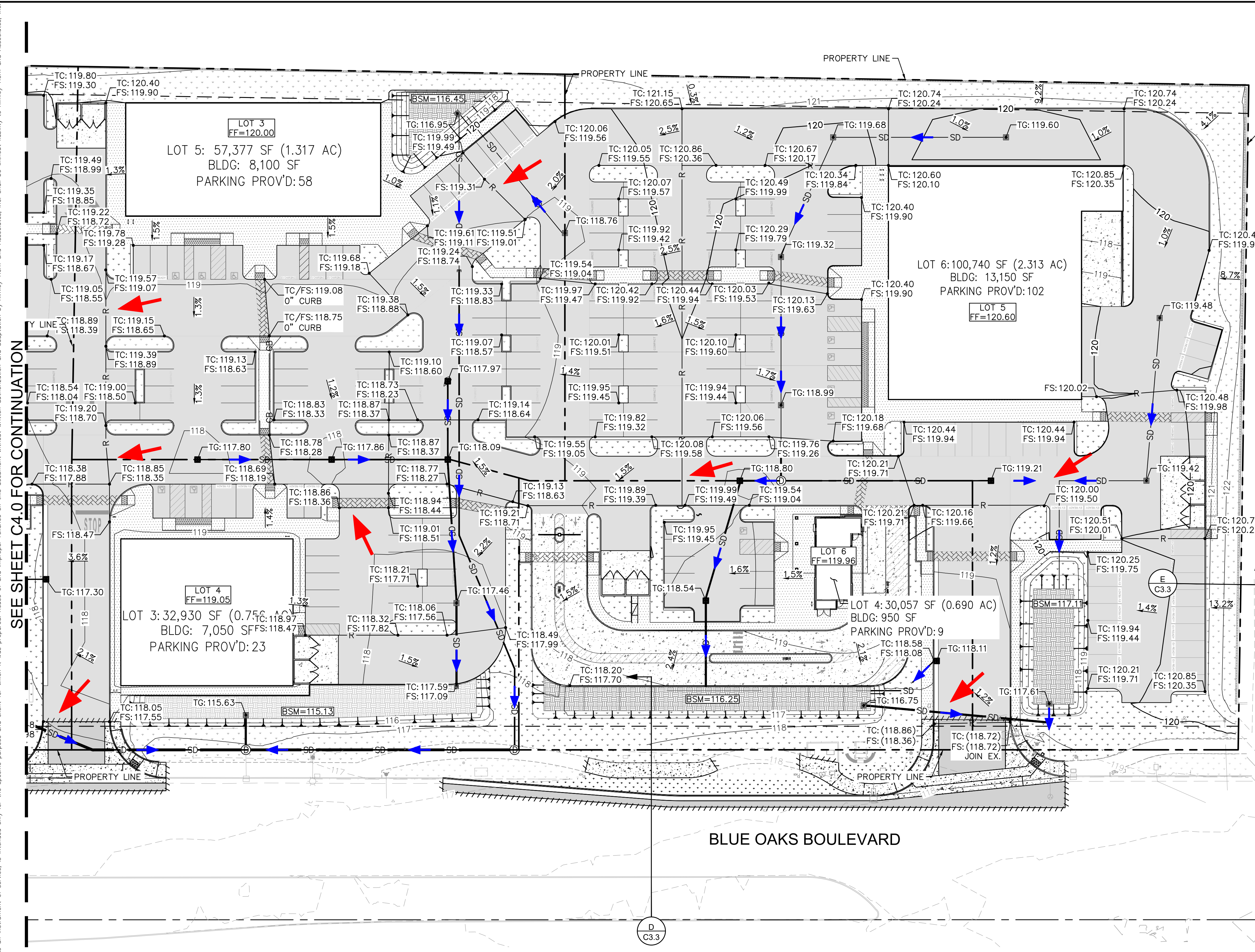
**BLUE OAKS SHOPPING CENTER**  
1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747



PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NUMBER  
**C3.0**

K:\BAY\_LDEV\check-ff-097672126 - cto #2032 - Blue Oaks & Woodcreek Oaks (casavillo)\CAD Exhibits\ventilations\C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN.dwg  
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**LEGEND**

- PROPERTY LINE
- - - - - APPROXIMATE CIVIL LIMIT OF WORK LINE
- CENTERLINE
- EASEMENT LINE
- - - SAWCUT LINE
- SD --- EXISTING STORM DRAIN LINE
- SD --- PROPOSED STORM DRAIN LINE
- FLOW LINE
- XXX --- PROPOSED CONTOUR
- EXISTING CONTOUR
- R --- RIDGE LINE
- GB --- GRADE BREAK LINE
- ← POINT OF OVERLAND RELEASE
- STORM DRAIN FLOW ARROW
- SURFACE DRAINAGE ARROW
- XXX TC
- XXX FS
- (XXX TC)
- (XXX FS)
- X.X% PROPOSED FLOW (DIRECTION AND SLOPE)
- [Pattern] PROPOSED ASPHALT CONCRETE
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED HEAVY DUTY CONCRETE
- [Pattern] STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
- [Pattern] PROPOSED LANDSCAPE AREA
- [Pattern] PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
- [Pattern] PROPOSED RIPRAP

**EXISTING UTILITY NOTE**

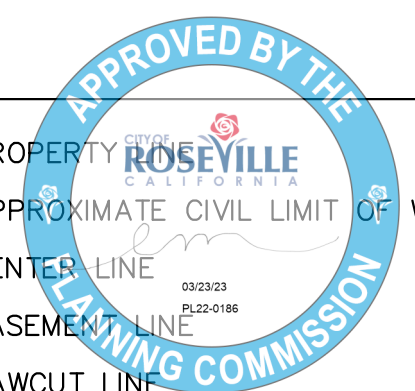
THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

**GENERAL NOTES**

1. SITE GRADING AND DRAINAGE SYSTEM SHALL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
2. SURFACE WATER WILL DRAIN AWAY FROM THE BUILDING. WHERE PLAUSIBLE, GRADES SHALL FALL A MINIMUM OF 5% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) PER CGC SECTION 1804.4. SEE HEREON FOR CONSTRUCTION DETAILS.
3. CONTRACTOR TO VERIFY EXISTING SLOPES IN ADA STALLS ARE COMPLIANT, 2% MAXIMUM IN ANY DIRECTION.

**ABBREVIATIONS**

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | HP  | - HIGH POINT      |
| C/L   | - CENTERLINE       | INV | - INVERT          |
| CO    | - CLEANOUT         | LP  | - LOW POINT       |
| CONC. | - CONCRETE         | MH  | - MANHOLE         |
| DI    | - DRAIN INLET      | N   | - NORTH           |
| E     | - ELECTRIC OR EAST | P/L | - PROPERTY LINE   |
| ESMT  | - EASEMENT         | R   | - RIDGE OR RADIUS |
| FF    | - FINISHED FLOOR   | R/W | - RIGHT-OF-WAY    |
| FG    | - FINISHED GRADE   | S   | - SOUTH           |
| FL    | - FLOW LINE        | SD  | - STORM DRAIN     |
| FS    | - FINISHED SURFACE | SS  | - SANITARY SEWER  |
| FW    | - FIRE WATER       | TC  | - TOP OF CURB     |
| GB    | - GRADE BREAK      | VIF | - VERIFY IN FIELD |
|       |                    | W   | - WATER OR WEST   |



SEE SHEET C4.0 FOR CONTINUATION

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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|     |           |      |    |

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|                          |
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| KHA PROJECT<br>097672126 |
| DATE<br>02/17/2023       |
| SCALE AS SHOWN           |
| DESIGNED BY SAL          |
| DRAWN BY OKC             |
| CHECKED BY JAK           |

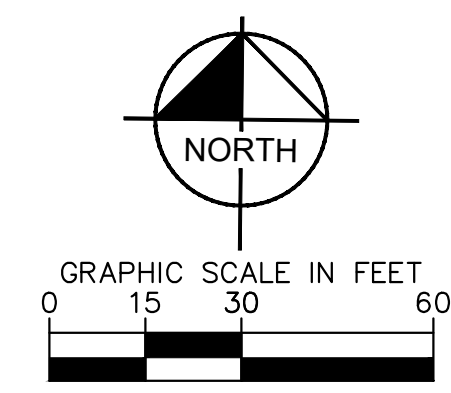
**BLUE OAKS SHOPPING CENTER**

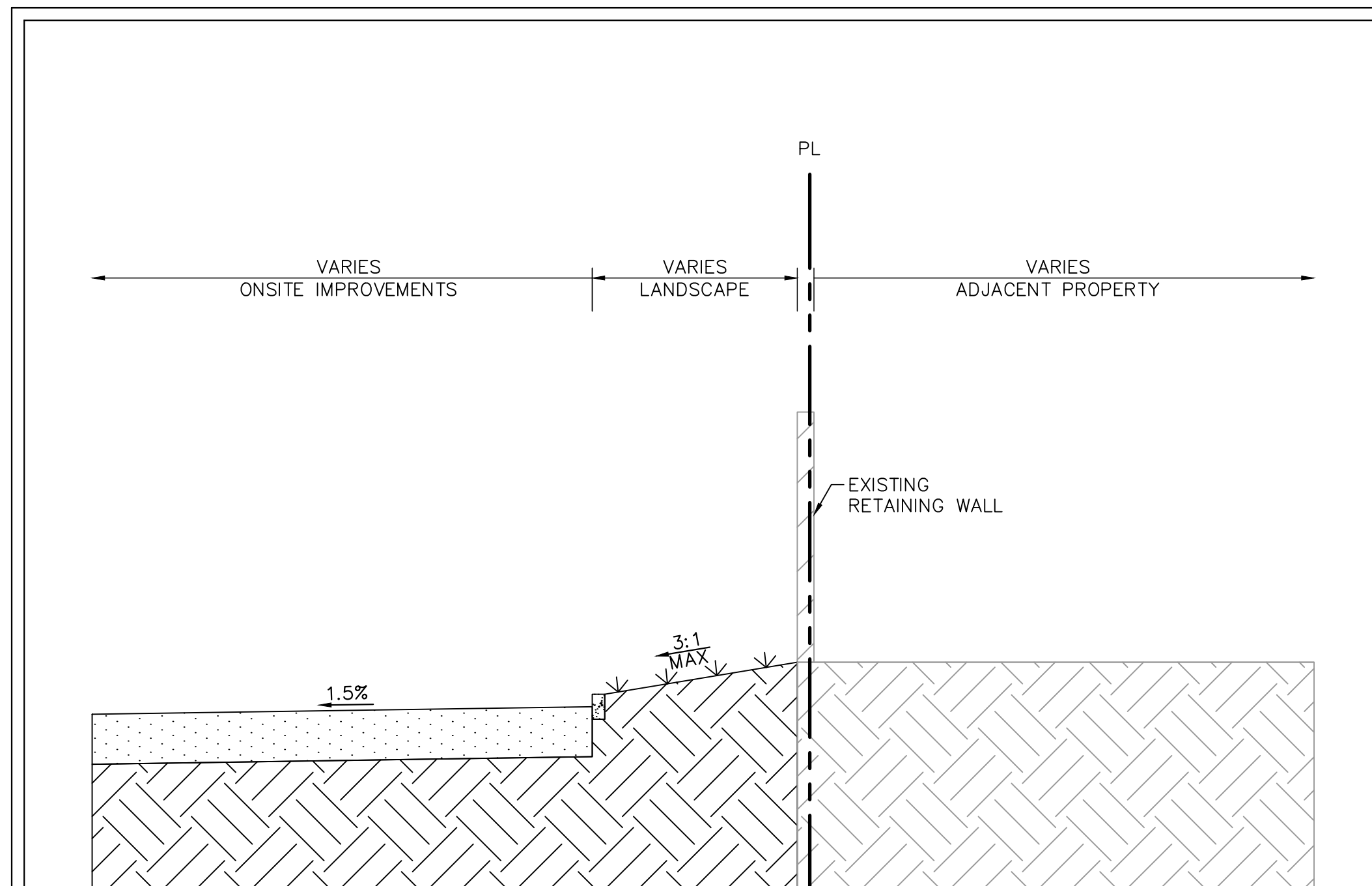
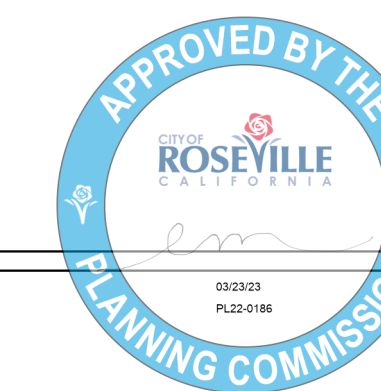
1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747



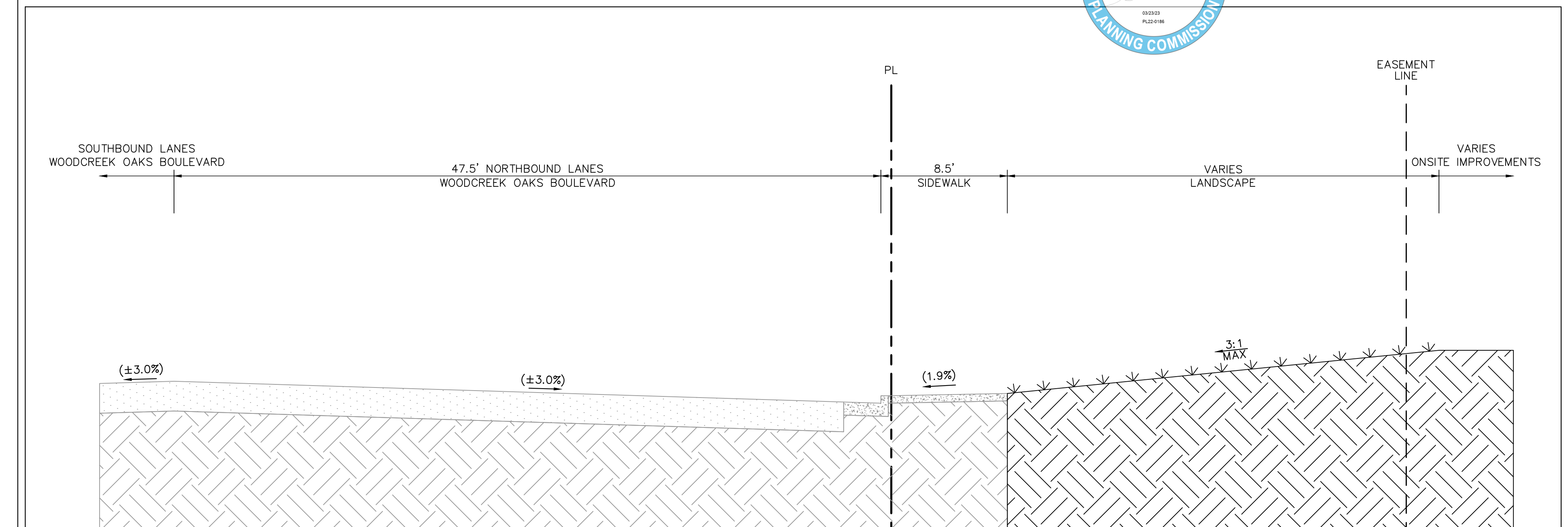
PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NUMBER  
**C3.1**

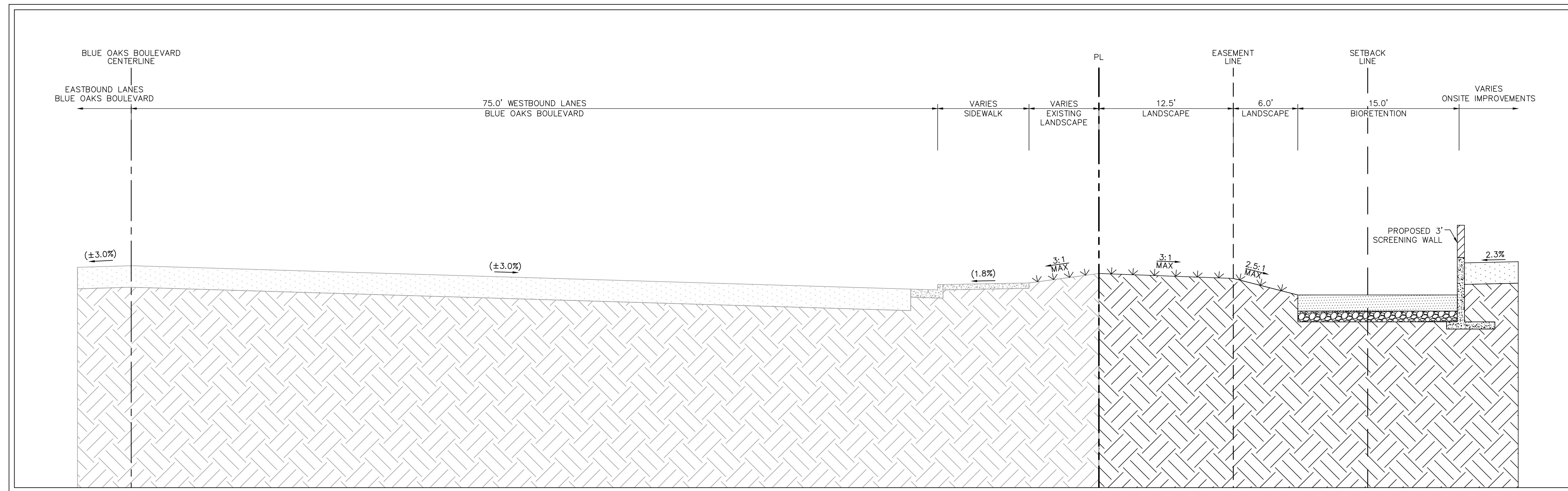




**A**  
C3.2  
**PROPOSED INTERNAL DRIVE TYPICAL SECTION**  
HORIZ: 1"=5'  
VERT: 1"=5'



**B**  
C3.2  
**PROPOSED WOODCREEK OAKS BOULEVARD TYPICAL SECTION**  
HORIZ: 1"=5'  
VERT: 1"=5'



**C**  
C3.2  
**PROPOSED BLUE OAKS BOULEVARD TYPICAL SECTION**  
HORIZ: 1"=5'  
VERT: 1"=5'

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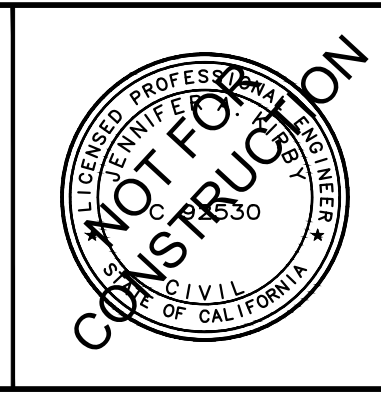
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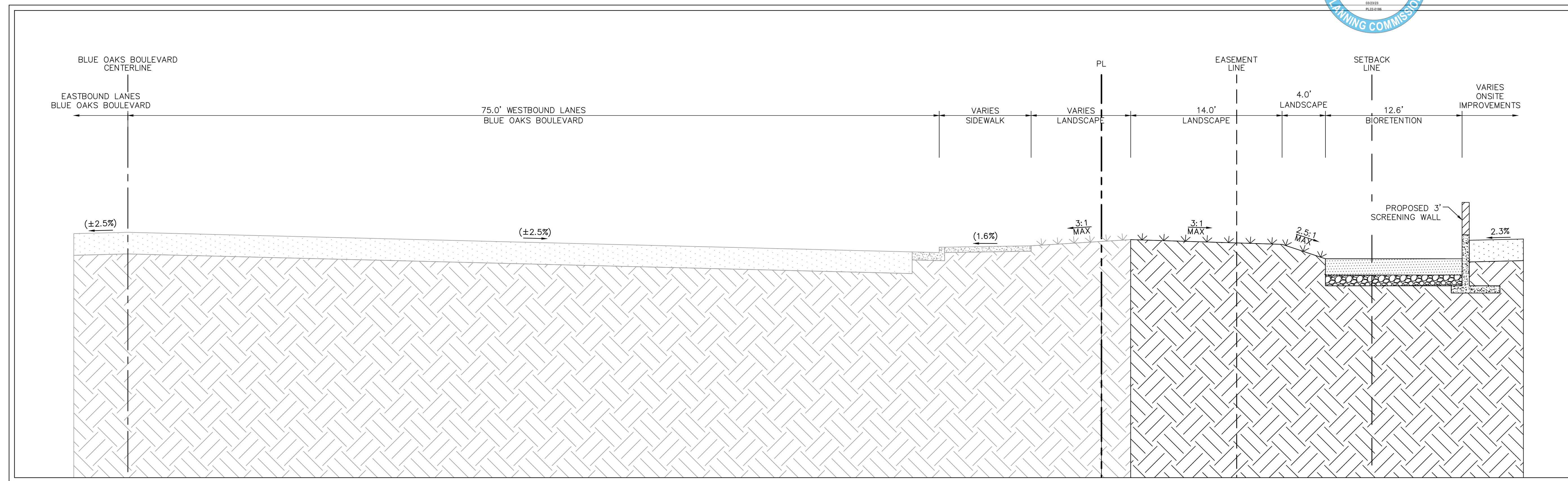
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| DATE        | 02/17/2023 |
| SCALE       | AS SHOWN   |
| DESIGNED BY | SAL        |
| DRAWN BY    | CKC        |
| CHECKED BY  | JAK        |

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1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747

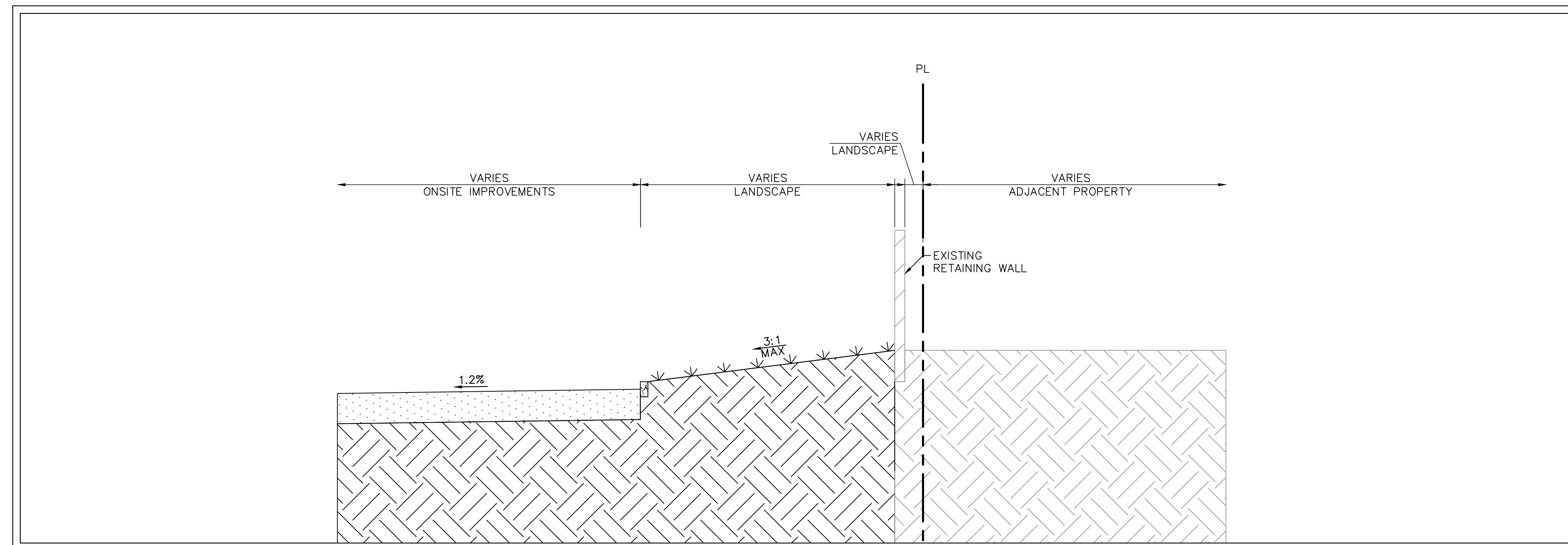


TYPICAL CROSS SECTIONS

|              |      |
|--------------|------|
| SHEET NUMBER | C3.2 |
|--------------|------|



**D**  
C3.3  
**PROPOSED BLUE OAKS BOULEVARD TYPICAL SECTION**  
HORIZ: 1"=5'  
VERT: 1"=5'



**E**  
C3.3  
**PROPOSED INTERNAL DRIVE TYPICAL SECTION**  
HORIZ: 1"=5'  
VERT: 1"=5'

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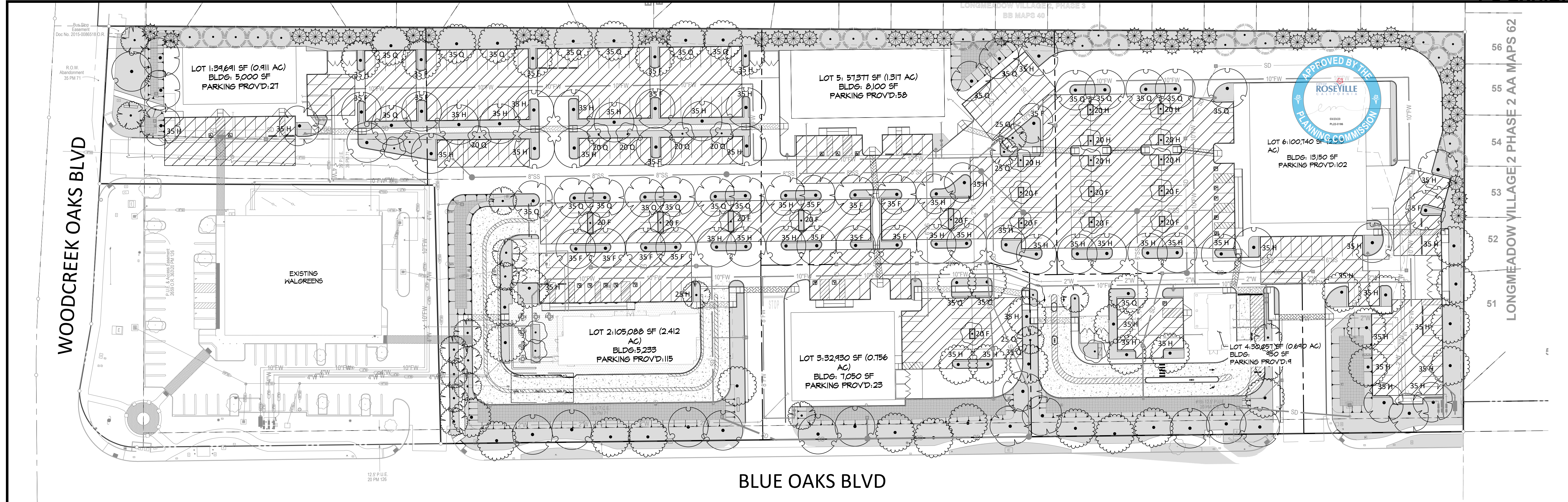
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| DATE        | 02/17/2023 |
| SCALE       | AS SHOWN   |
| DESIGNED BY | SAL        |
| DRAWN BY    | CKC        |
| CHECKED BY  | JAK        |

**BLUE OAKS SHOPPING CENTER**  
1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747



TYPICAL CROSS SECTIONS

SHEET NUMBER  
**C3.3**



SHADE CALCULATION TABLE

| Symbol                 | Tree Size                 | Tree Species Included  | Interior Planter - 100% | South, East, and West - 50% | Corner and North - 25% | Total (sq. ft) |
|------------------------|---------------------------|--|-------------------------|-----------------------------|------------------------|----------------|
| 35F, 35H, 35Q          | Large (30'-35')           | Zelkova serrata 'Village Green'<br>Pistacia chinensis 'Keith Davey'<br>Platanus acerifolia 'Bloodgood' | 19 @ 962                | 50 @ 481                    | 26 @ 240               | 48568          |
| 30F, 30H, 30Q          | Medium to Large (25'-30') |  | 0 @ 707                 | 0 @ 354                     | 0 @ 177                | 0              |
| 25F, 25H, 25Q          | Medium to Small (20'-25') | Acer buergerianum  | 0 @ 491                 | 1 @ 246                     | 3 @ 123                | 615            |
| 20F, 20H, 20Q          | Small (15'-20')           | Arbutus 'Marina'   | 12 @ 314                | 7 @ 157                     | 5 @ 79                 | 5262           |
| TOTAL TREE SHADE =     |                           |  |                         |                             |                        | 54445          |
| TOTAL AREA OF PAVING = |                           |  |                         |                             |                        | 106773         |
| SHADE AREA REQUIRED =  |                           |  |                         |                             |                        | 53386.5        |
| PERCENT SHADE =        |                           |  |                         |                             |                        | 51%            |

PAVED VEHICULAR SURFACE AREA INCLUDED IN CALCULATIONS, PER COUNTY ZONING CODE REQUIREMENTS FOR PARKING LOT SHADE

NOTES:  
1. THE PLAN SHOWS ALL EXISTING AND PROPOSED TREE LOCATIONS ON THE PROJECT SITE. ONLY THOSE TREES USED IN SHADE CALCULATIONS ARE ANNOTATED WITH DIAMETER COVERAGE AND ARE INCLUDED IN THE SHADE CALCULATIONS TABLE.

IMPORTANT PLANTING NOTES

- ALL TREES IN PLANTERS LESS THAN 8' WIDE, OR TREES PLANTED CLOSER THAN 4' TO BACK OF CURB ARE TO BE INSTALLED WITH ROOT BARRIERS. BARRIERS TO EXTEND 8' FROM TRUNK.
- ALL PLANTING AREAS ON SITE TO RECEIVE 3" DEPTH OF WALK ON BARK MULCH EXCEPT AS OTHERWISE SPECIFIED.
- LANDSCAPE AT DUTCH BROTHERS SITE TO RECEIVE 3" DEPTH OF 1"-2" ROCK MULCH ONLY (NO BARK MULCH).
- NO FLOWERING TREES OR SHRUBS ARE TO BE PLANTED AT THE DUTCH BROTHERS OR CHICK-FIL-A SITES. THESE PLANTS ARE INDICATED WITH AN ASTERISK IN THE CANDIDATE PLANT LIST. FOR THE PURPOSE OF THIS PROJECT "NON-FLOWERING" MEANS FLOWERS ARE NOT HIGHLY SHOWY AND ATTRACTIVE TO INSECTS, THOUGH TECHNICALLY WILL STILL BE PRESENT ON MOST PLANTS.

IRRIGATION NARRATIVE

PLANT MATERIAL WILL BE IRRIGATED WITH A LOW-VOLUME IRRIGATION SYSTEM UTILIZING A COMBINATION OF SUB-SURFACE IN-LINE AND POINT SOURCE DRIP, DEEP WATERING ROOT BUBBLERS, AND LOW-VOLUME MATCHED PRECIPITATION OVERHEAD SPRAY, AS APPROPRIATE. IRRIGATION WILL BE SEPARATED INTO HYDROZONES BASED ON THE WATER NEEDS OF SPECIFIC PLANTS AND THE IRRIGATION CONTROL SYSTEM WILL INCLUDE WATER SAVING MEASURES SUCH AS EVAPOTRANSPIRATION DATA AND A WEATHER SENSOR. A SEPARATE IRRIGATION METER AND SYSTEM WILL BE PROVIDED FOR EACH PARCEL.

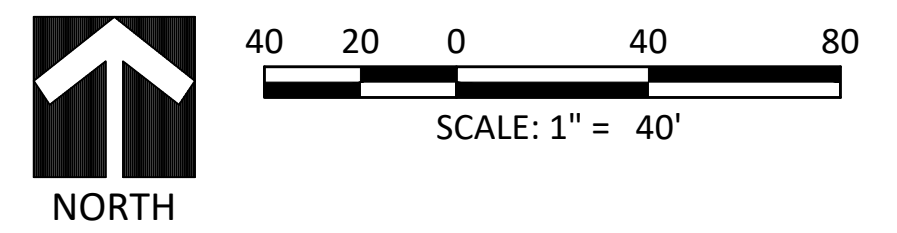
CANDIDATE PLANT LIST

| COMMON NAME                                  | CONT  | WATER USE | HxW       |
|--|-------|-----------|-----------|
| GROUNDCOVERS                                 |       |           |           |
| COTONEASTER DAMMERI 'LOWFAST'                | 1 GAL | L         | 1'X8'     |
| JUNIPERUS HORIZONTALIS 'BLUE CHIP'           | 1 GAL | L         | 1'X5'     |
| ROSMARINUS OFFICINALIS 'PROSTRATUS'          | 1 GAL | L         | 1.5'X8'   |
| SHRUBS & GRASSES                             |       |           |           |
| ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'    | 5 GAL | L         | 5'X6'     |
| CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'   | 5 GAL | L         | 4'X3'     |
| CALLISTEMON VIMINALIS 'BETTER JOHN'          | 5 GAL | L         | 2.5'X3'   |
| CARPENTERIA CALIFORNICA                      | 5 GAL | L         | 5'X5'     |
| CEANOTHUS MARITIMUS 'VALLEY VIOLET'          | 5 GAL | L         | 2'X4'     |
| DIANELLA REVOLUTA 'LITTLE REV'               | 1 GAL | L         | 1.5'X1.5' |
| DIETES VEGETA                                | 5 GAL | L         | 4'X4'     |
| FESTUCA MAIREI                               | 5 GAL | L         | 2.5'X2.5' |
| LAVANDULA DENTATA 'GOODWIN CREEK GRAY'       | 5 GAL | L         | 2.5'X3'   |
| MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM      | 1 GAL | L         | 4'X3'     |
| NANDINA DOMESTICA 'FIRE POWER'               | 5 GAL | L         | 2'X2'     |
| NANDINA DOMESTICA 'GULF STREAM' TM           | 5 GAL | L         | 3'X3'     |
| RHAMNUS CALIFORNICA 'EVE CASE'               | 5 GAL | L         | 5'X5'     |
| RHAPHIOLEPIS UMBELLATA 'MINOR GULF GREEN' TM | 5 GAL | L         | 4'X4'     |
| TULBAGHIA VIOLACEA                           | 1 GAL | L         | 2'X2'     |
| WESTRINGIA FRUTICOSA 'MORNING LIGHT'         | 5 GAL | L         | 3'X3'     |
| XYLOSMA CONGESTUM 'COMPACTA'                 | 5 GAL | L         | 4'X4'     |
| STORMWATER PLANTING                          |       |           |           |
| CHONDROPETALUM TECTORUM                      | 5 GAL | L         | 2'X3'     |
| CORNUS SERICEA 'KELSEY'                      | 1 GAL | H         | 3'X3'     |
| JUNCUS PATENS                                | 5 GAL | M         | 2'X1'     |
| LOMANDRA LONGIFOLIA 'BREEZE'                 | 1 GAL | L         | 3'X3'     |
| MUHLENBERGIA RIGENS                          | 1 GAL | L         | 4'X4'     |
| COMMON NAME                                  | CONT  | WATER USE | HxW       |
| LOWFAST BEARBERRY COTONEASTER                | 1 GAL | L         | 1'X8'     |
| BLUE CHIP JUNIPER                            | 1 GAL | L         | 1'X5'     |
| CREeping ROSEMARY                            | 1 GAL | L         | 1.5'X8'   |
| HOWARD MCMINN MANZANITA                      | 5 GAL | L         | 5'X6'     |
| FEATHER REED GRASS                           | 5 GAL | L         | 4'X3'     |
| DWARF WEEPING BOTTLE BRUSH                   | 5 GAL | L         | 2.5'X3'   |
| BUSH ANEMONE                                 | 5 GAL | L         | 5'X5'     |
| MARITIME CEANOTHUS                           | 5 GAL | L         | 2'X4'     |
| LITTLE REV FLAX LILY                         | 1 GAL | L         | 1.5'X1.5' |
| AFRICAN IRIS                                 | 5 GAL | L         | 4'X4'     |
| ATLAS FESCUE                                 | 5 GAL | L         | 2.5'X2.5' |
| GOODWIN CREEK GRAY LAVENDER                  | 5 GAL | L         | 2.5'X3'   |
| MUHLY  | 1 GAL | L         | 4'X3'     |
| FIREPOWER NANDINA                            | 5 GAL | L         | 2'X2'     |
| GULF STREAM HEAVENLY BAMBOO                  | 5 GAL | L         | 3'X3'     |
| CALIFORNIA COFFEEBERRY                       | 5 GAL | L         | 5'X5'     |
| GULF GREEN INDIAN HAWTHORN                   | 5 GAL | L         | 4'X4'     |
| SOCIETY GARLIC                               | 1 GAL | L         | 2'X2'     |
| MORNING LIGHT COAST ROSEMARY                 | 5 GAL | L         | 3'X3'     |
| COMPACT XYLOSMA                              | 5 GAL | L         | 4'X4'     |
| CAPE RUSH                                    | 5 GAL | L         | 2'X3'     |
| KELSEY'S DWARF RED TWIG DOGWOOD              | 1 GAL | H         | 3'X3'     |
| CALIFORNIA GRAY RUSH                         | 5 GAL | M         | 2'X1'     |
| DWARF MAT RUSH                               | 1 GAL | L         | 3'X3'     |
| DEER GRASS                                   | 1 GAL | L         | 4'X4'     |

\* PLANTS CONSIDERED "NON-FLOWERING"

TREE LEGEND

| TREES | CODE    | BOTANICAL NAME                    | COMMON NAME                  | CONT   | WATER USE | HxW     | QTY |
|-------|---------|-----------------------------------|------------------------------|--------|-----------|---------|-----|
|       | ACE BUE | ACER BUERGERIANUM                 | TRIDENT MAPLE                | 15 GAL | M         | 20'X25' | 20  |
|       | ARB HYB | ARBUTUS X 'MARINA'                | STRAWBERRY TREE              | 15 GAL | L         | 30'X25' | 30  |
|       | CAL DEC | CALOCEDRUS DECURRENS              | INCENSE CEDAR                | 15 GAL | M         | 50'X20' | 22  |
|       | PIN HAL | PINUS HALEPENSIS                  | ALLEPO PINE                  | 15 GAL | L         | 50'X15' | 50  |
|       | PIS CHI | PISTACIA CHINENSIS 'KEITH DAVEY'  | KEITH DAVEY CHINESE PISTACHE | 15 GAL | L         | 30'X35' | 53  |
|       | PLA BLO | PLATANUS X ACERIFOLIA 'BLOODGOOD' | LONDON PLANE TREE            | 15 GAL | M         | 70'X35' | 27  |
|       | ULM PAR | ULMUS PARVIFOLIA                  | LACEBARK ELM                 | 15 GAL | VL        | 30'X35' | 2   |
|       | ZEL VIL | ZELKOVA SERRATA 'VILLAGE GREEN'   | SAWLEAF ZELKOVA              | 15 GAL | M         | 40'X35' | 45  |

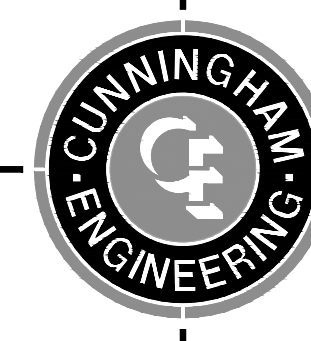


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DRAWN BY: BM  
CHECKED BY: ME  
SCALE: 1" = 40'

BLUE OAKS SHOPPING CENTER  
LANDSCAPE ENTITLEMENT SITE PLAN

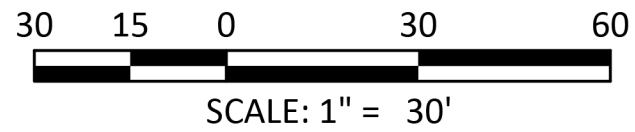
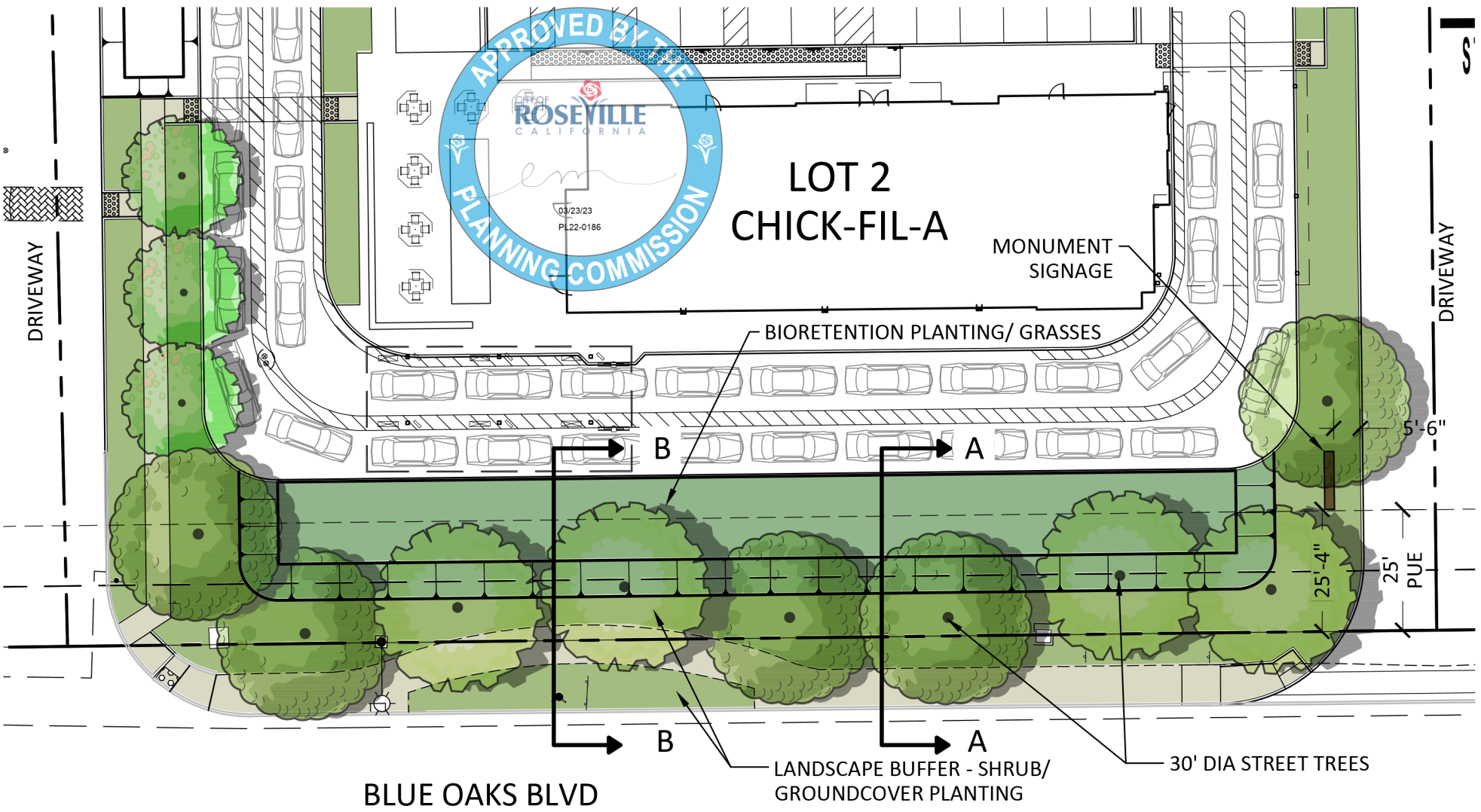
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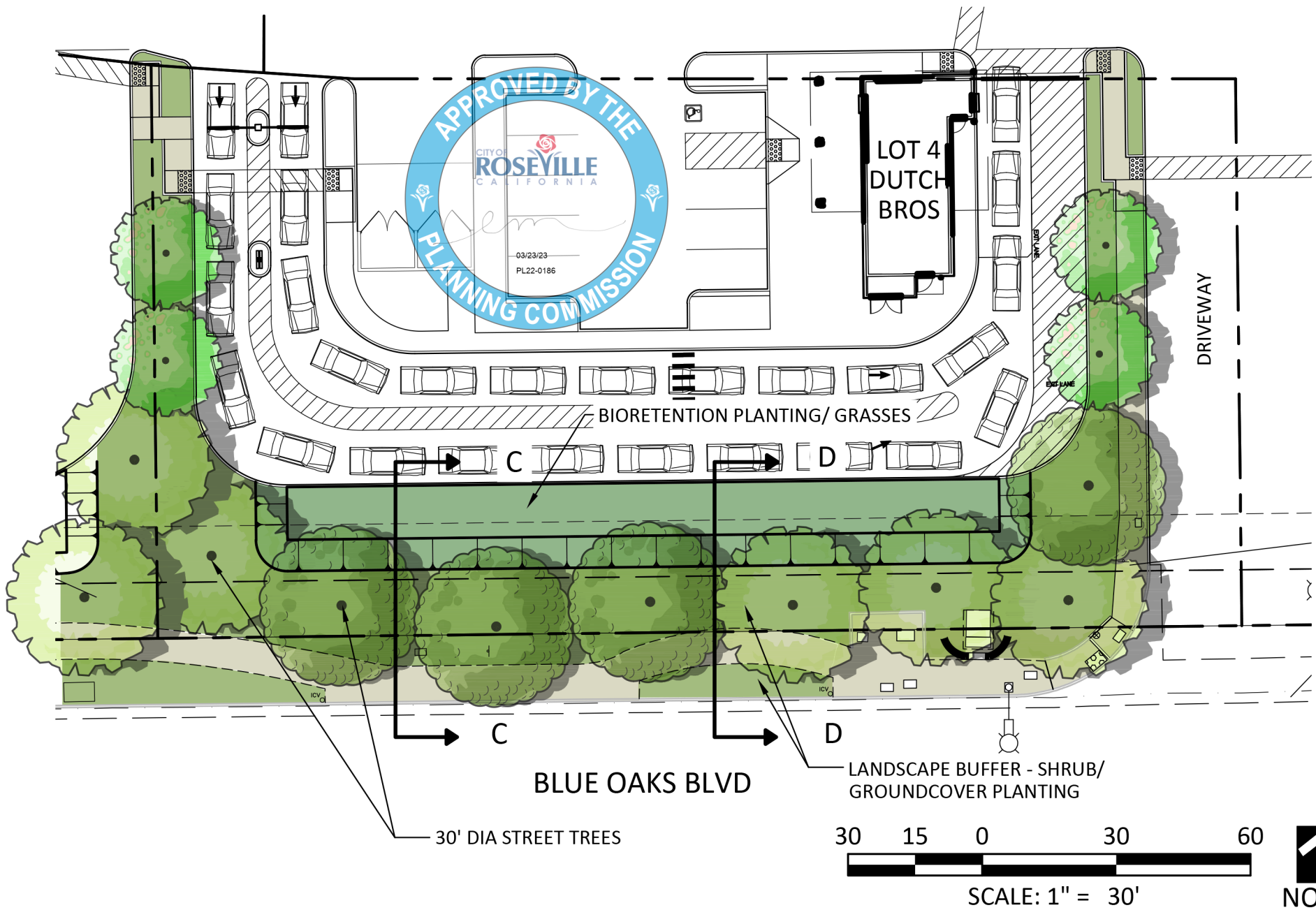
CALIFORNIA



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Sacramento Office: 2120 20th Street, Suite Three, Sacramento, CA 95818 (916) 455-2026  
Davis Office: 2940 Spafford Street, Suite 200, Davis, CA 95618 (530) 758-2026

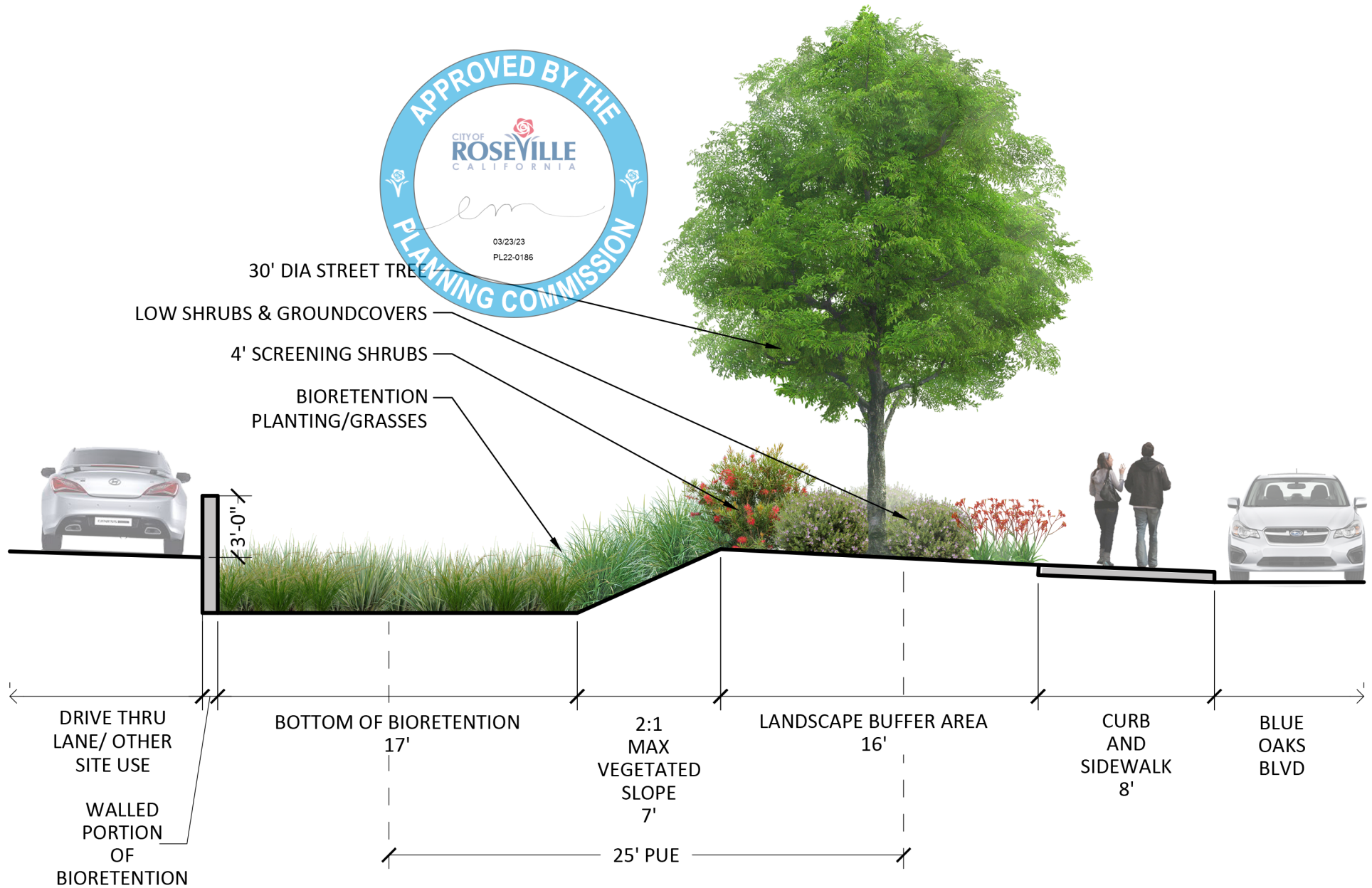
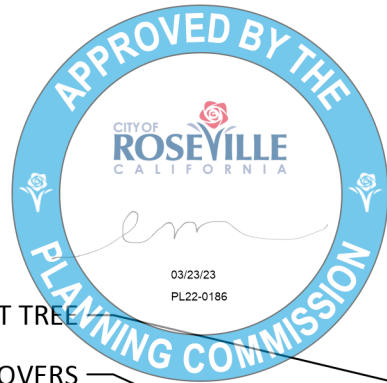
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|     |      |           |    |       | DATE: 02/17/23  |
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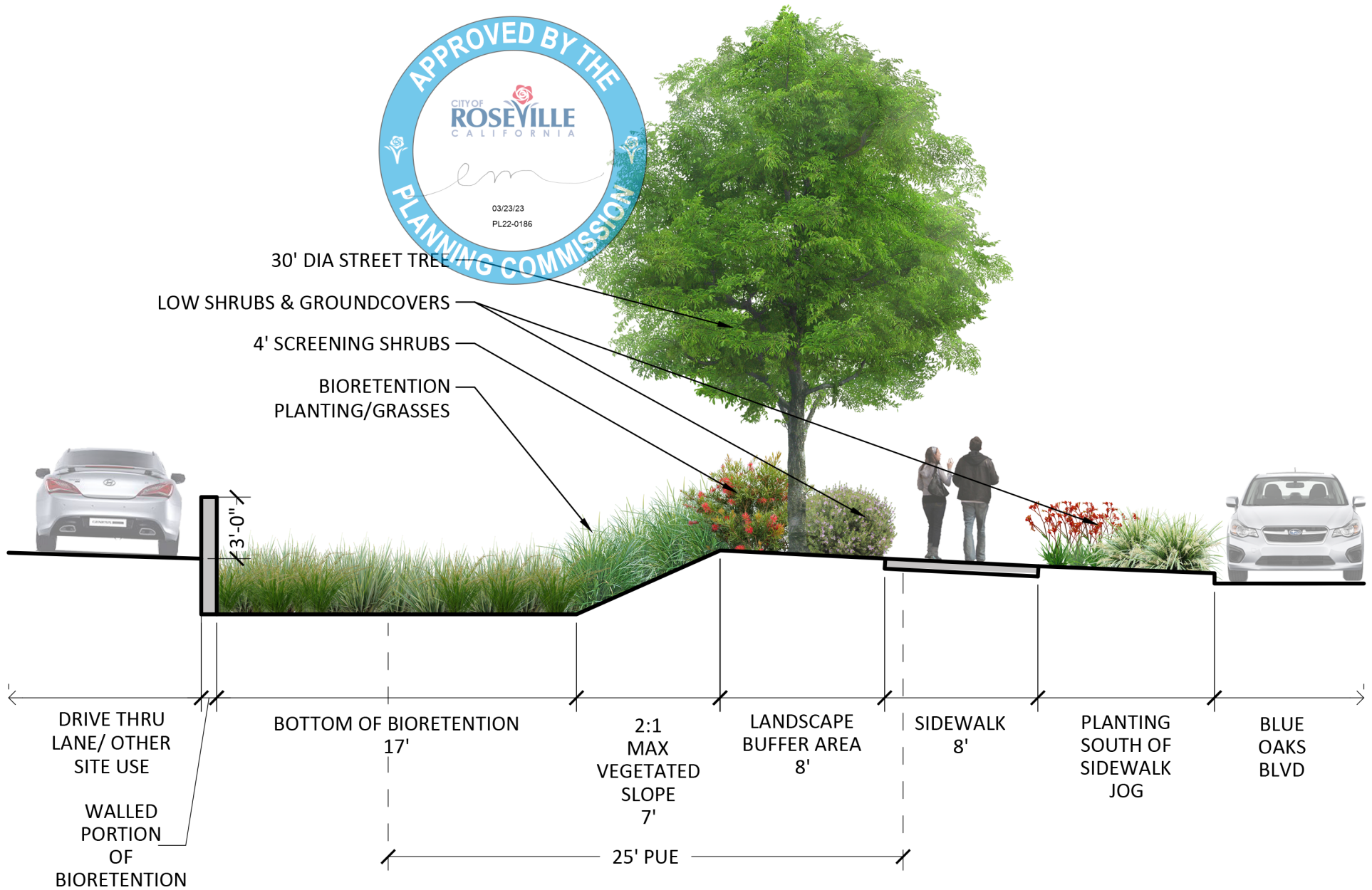
**BLUE OAKS** | TYPICAL STREETScape PLANTING- DUTCH BROS | 10.10.2022





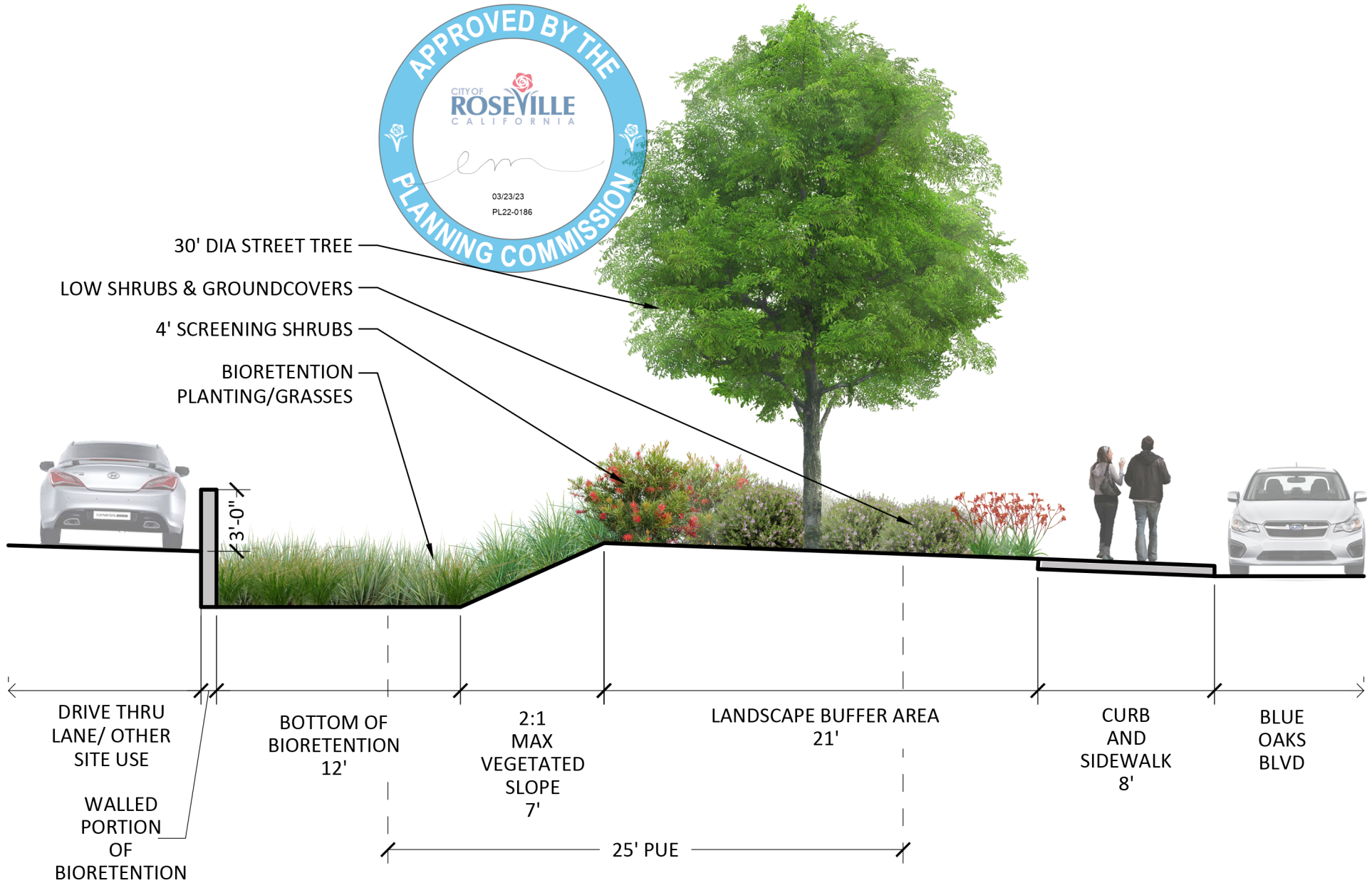
BLUE OAKS | TYPICAL STREETScape PLANTING SECTION A-A | 10.10.2022





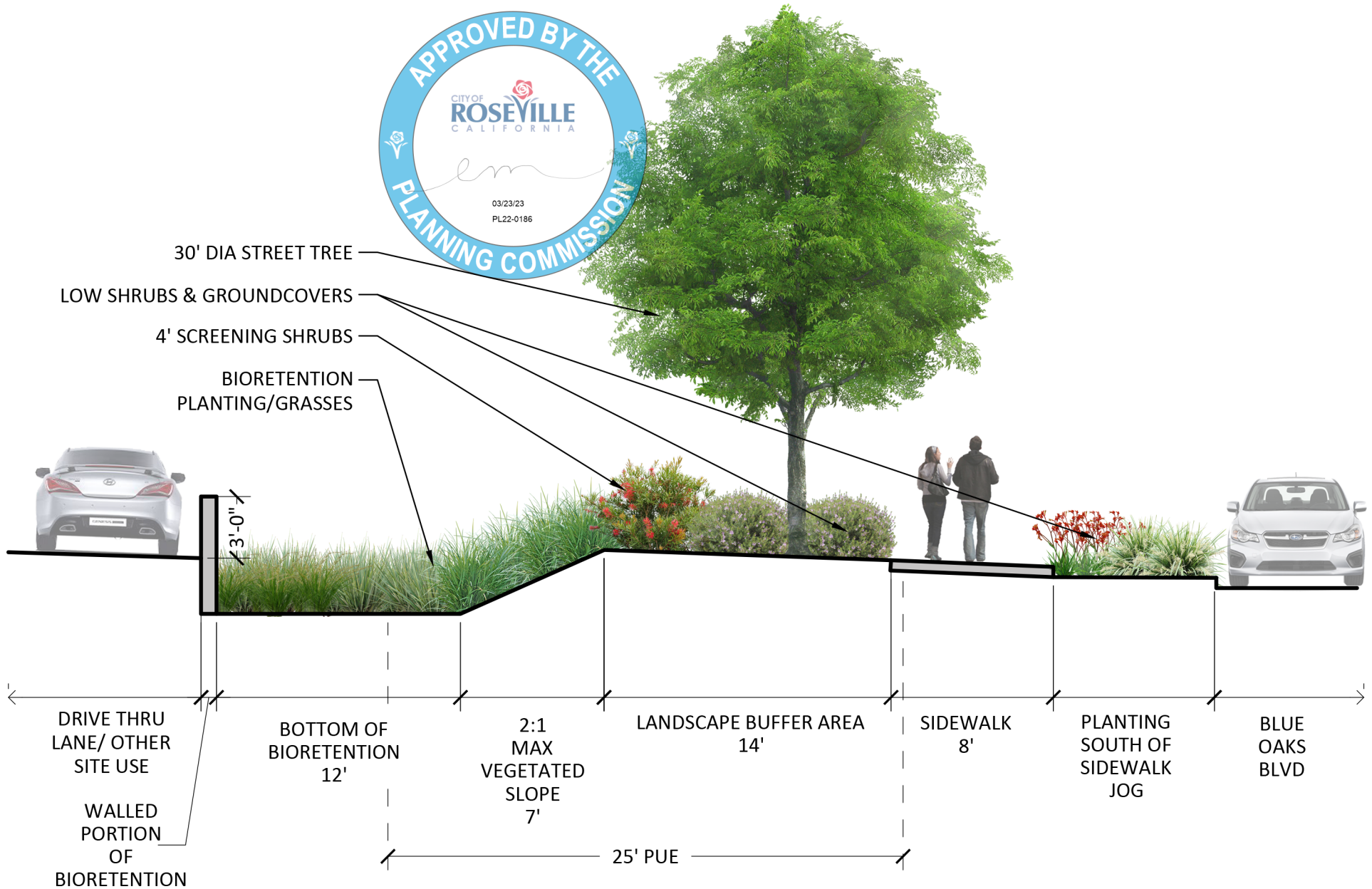
BLUE OAKS | TYPICAL STREETScape PLANTING SECTION B-B | 10.10.2022





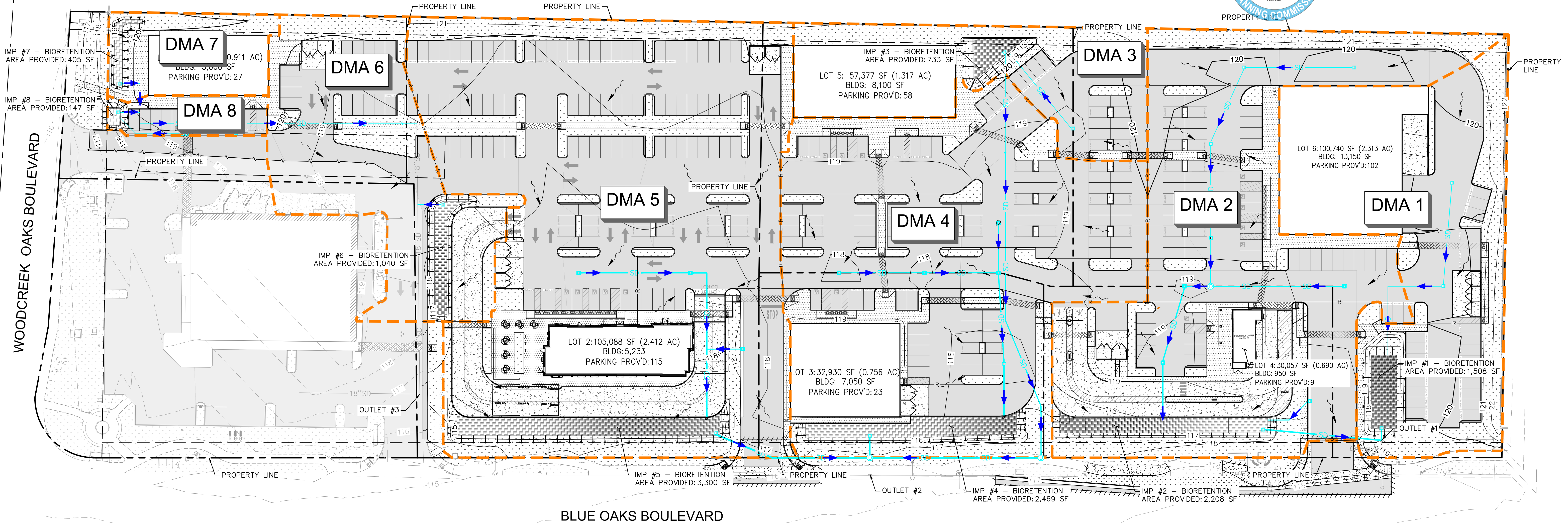
BLUE OAKS | TYPICAL STREETScape PLANTING SECTION C-C | 10.10.2022





BLUE OAKS | TYPICAL STREETSCAPE PLANTING SECTION D-D | 10.10.2022





**LEGEND**

|  |                                 |  |  |
|--|---------------------------------|--|--|
|  | PROPERTY LINE                   |  | PROPOSED ASPHALT CONCRETE                          |
|  | APPROXIMATE CIVIL LIMIT OF WORK |  | PROPOSED CONCRETE SIDEWALK                         |
|  | EASEMENT OR SETBACK LINE        |  | PROPOSED HEAVY DUTY CONCRETE                       |
|  | EXISTING STORM DRAIN LINE       |  | STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL |
|  | PROPOSED STORM DRAIN LINE       |  | PROPOSED LANDSCAPE AREA                            |
|  | FLOW LINE                       |  | PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER      |
|  | PROPOSED CONTOUR                |  | PROPOSED RIPRAP                                    |
|  | EXISTING CONTOUR                |  |  |
|  | RIDGE LINE                      |  |  |
|  | GRADE BREAK LINE                |  |  |
|  | PROPOSED STORM DRAIN INLET      |  |  |
|  | PROPOSED STORM DRAIN MANHOLE    |  |  |
|  | POINT OF OVERLAND RELEASE       |  |  |
|  | STORM DRAIN FLOW ARROW          |  |  |
|  | SURFACE DRAINAGE ARROW          |  |  |

**UTILITY NOTES**

- ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
- ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

**EXISTING UTILITY NOTE**

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POT-HOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

**ABBREVIATIONS**

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | HP  | - HIGH POINT      |
| C/L   | - CENTERLINE       | INV | - INVERT          |
| CO    | - CLEANOUT         | LP  | - LOW POINT       |
| CONC. | - CONCRETE         | MH  | - MANHOLE         |
| DI    | - DRAIN INLET      | N   | - NORTH           |
| E     | - ELECTRIC OR EAST | P/L | - PROPERTY LINE   |
| ESMT  | - EASEMENT         | R   | - RIDGE OR RADIUS |
| FF    | - FINISHED FLOOR   | R/W | - RIGHT-OF-WAY    |
| FG    | - FINISHED GRADE   | S   | - SOUTH           |
| FL    | - FLOW LINE        | SD  | - STORM DRAIN     |
| FS    | - FINISHED SURFACE | SS  | - SANITARY SEWER  |
| FW    | - FIRE WATER       | TC  | - TOP OF CURB     |
| GB    | - GRADE BREAK      | VIF | - VERIFY IN FIELD |
|       |                    | W   | - WATER OR WEST   |

**PROPOSED STORMWATER TREATMENT SUMMARY**

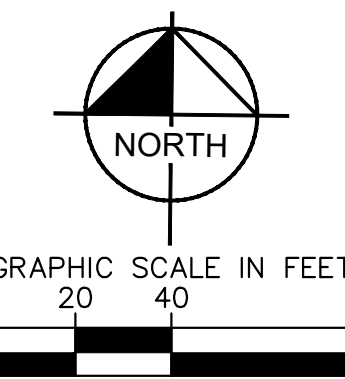
|              | TOTAL AREA (SF) | PERVIOUS AREA (SF) | IMPERVIOUS AREA (SF) | REQUIRED TREATMENT AREA (SF) - IMP CALC | PROVIDED TREATMENT (SF) | TREATMENT TYPE |
|--------------|-----------------|--------------------|----------------------|---|-------------------------|----------------|
| DMA 1        | 50,094          | 12,794             | 37,300               | 1,505                                   | 1,508                   | BIORETENTION   |
| DMA 2        | 64,607          | 15,082             | 49,525               | 2,205                                   | 2,208                   | BIORETENTION   |
| DMA 3        | 23,419          | 6,979              | 16,440               | 722                                     | 733                     | BIORETENTION   |
| DMA 4        | 73,792          | 12,732             | 61,060               | 2,370                                   | 2,469                   | BIORETENTION   |
| DMA 5        | 101,968         | 22,868             | 79,100               | 3,262                                   | 3,300                   | BIORETENTION   |
| DMA 6        | 30,371          | 11,035             | 19,336               | 973                                     | 1,040                   | BIORETENTION   |
| DMA 7        | 9,359           | 3,424              | 5,935                | 273                                     | 405                     | BIORETENTION   |
| DMA 8        | 4,288           | 526                | 3,762                | 143                                     | 147                     | BIORETENTION   |
| <b>TOTAL</b> | <b>357,898</b>  | <b>85,440</b>      | <b>272,458</b>       | <b>11,453</b>                           | <b>11,810</b>           | <b>N/A</b>     |

**IMPERVIOUS VS PERVIOUS AREA**

|          | TOTAL CONSTRUCTION AREA (SF) | IMPERVIOUS AREA (SF) | PERVIOUS AREA (SF) | PERCENT PERVIOUS |
|----------|------------------------------|----------------------|--------------------|------------------|
| EXISTING | 357,898                      | 36,778               | 321,120            | 89.7%            |
| PROPOSED | 357,898                      | 272,458              | 85,440             | 23.9%            |

**SOURCE CONTROL BMPs**

| BMP ID | BMP DESCRIPTION                    |
|--------|------------------------------------|
| SD-10  | SITE DESIGN AND LANDSCAPE PLANNING |
| SD-13  | STORM DRAIN SIGNAGE                |
| SD-31  | MAINTENANCE BAYS AND DOCKS         |
| SD-32  | TRASH ENCLOSURES                   |
| SC-41  | BUILDINGS AND GROUNDS MAINTENANCE  |
| SC-43  | PARKING/STORAGE AREA MAINTENANCE   |
| SC-71  | PLAZA AND SIDEWALK CLEANING        |
| SC-73  | LANDSCAPE MAINTENANCE              |
| SC-74  | DRAINAGE SYSTEM MAINTENANCE        |



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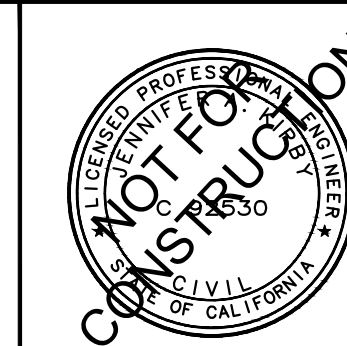


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KHA PROJECT  
097672126  
DATE  
02/17/2023  
SCALE AS SHOWN  
DESIGNED BY SAL  
DRAWN BY OKC  
CHECKED BY JAK

**BLUE OAKS SHOPPING CENTER**

1480 BLUE OAKS BOULEVARD  
ROSEVILLE, CA 95747



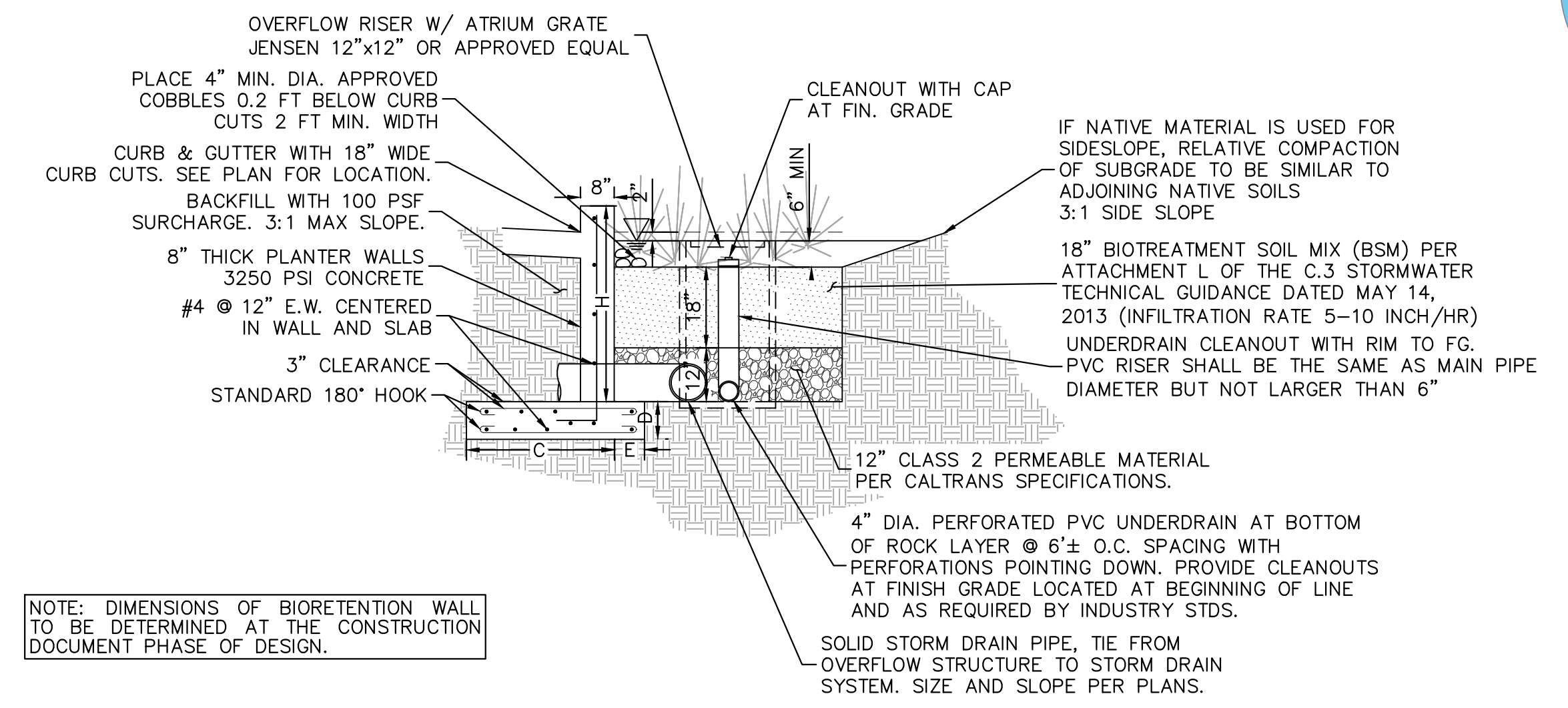
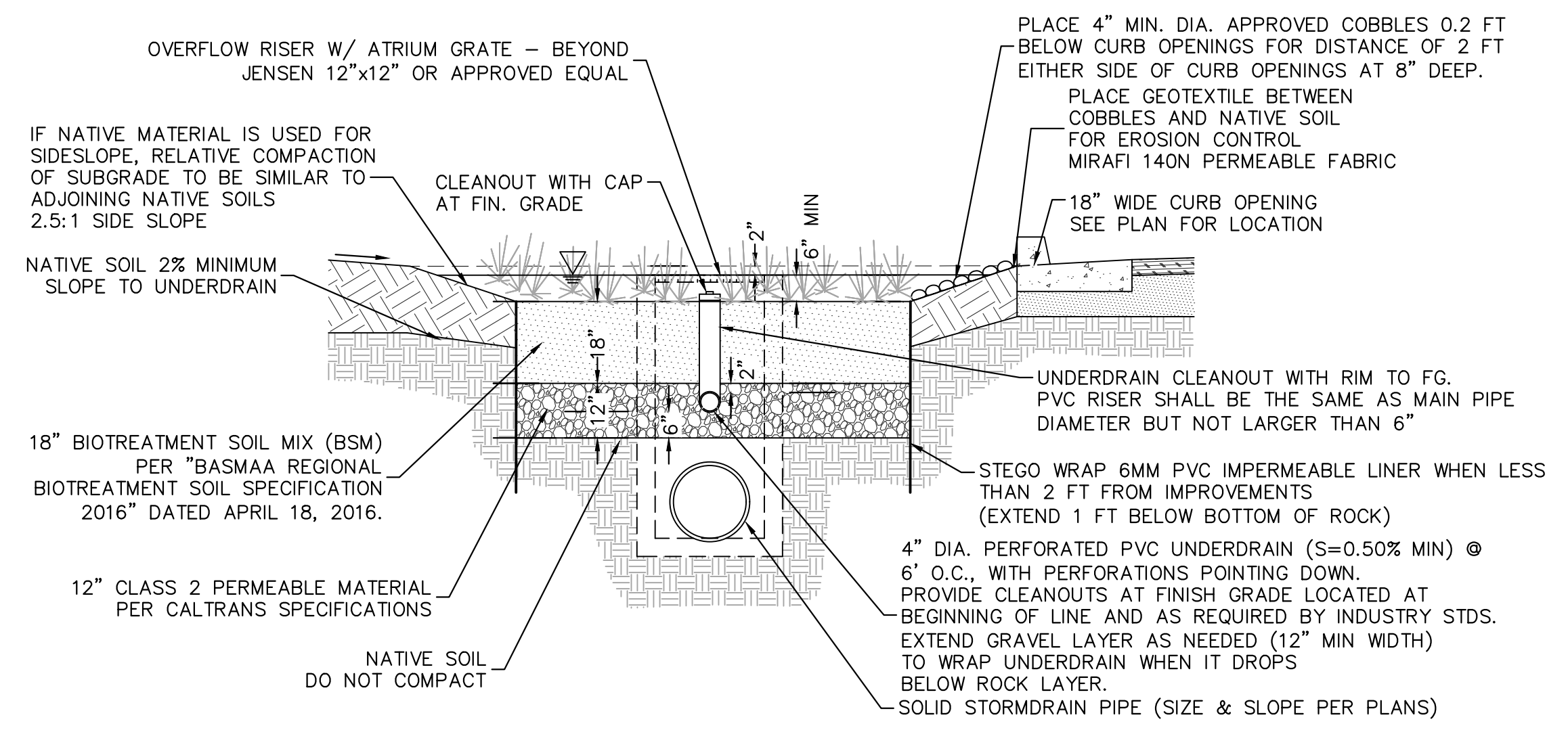
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SHEET NUMBER

C4.0

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NOTE: DIMENSIONS OF BIORETENTION WALL TO BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE OF DESIGN.

**BIORETENTION SYSTEM**  
N.T.S.

1

**HYBRID BIORETENTION SYSTEM**  
N.T.S.

2

NOTE: DETAILS ARE PROVIDED FOR REFERENCE ONLY. DESIGN TO BE FINALIZED AT THE CONSTRUCTION DOCUMENT PHASE.

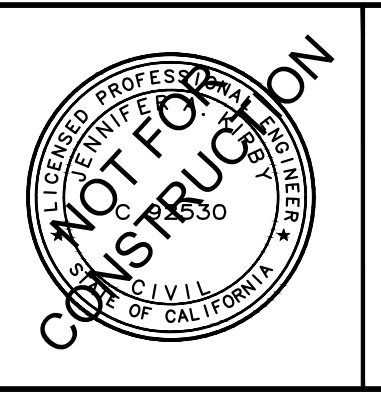
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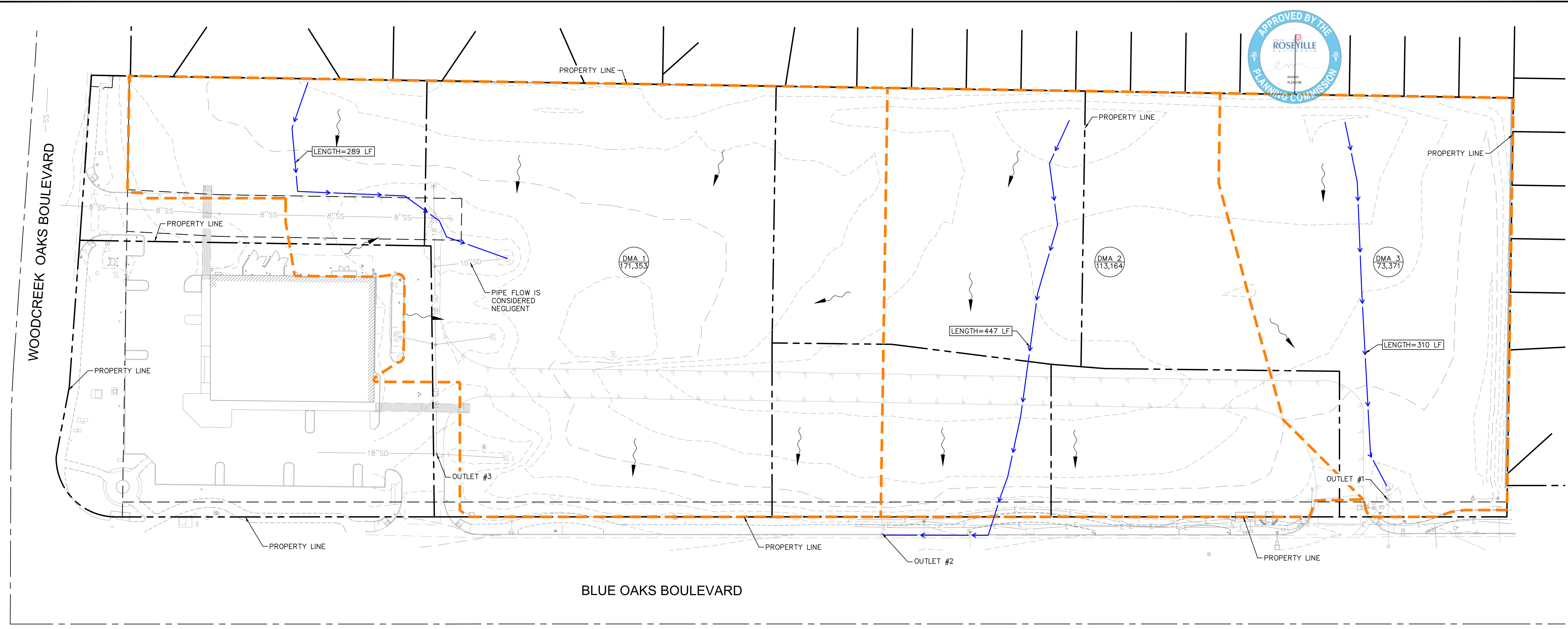
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PRELIMINARY STORMWATER DETAILS

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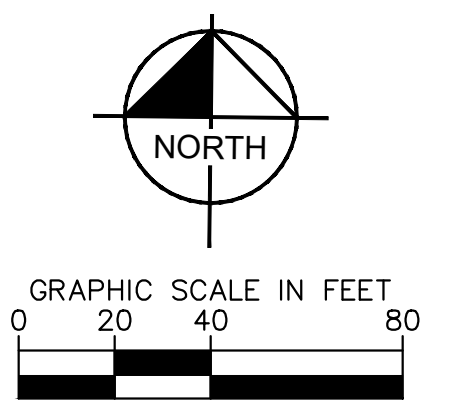
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**LEGEND:**

- CENTER LINE
- PROPERTY LINE
- EASEMENT LINE
- EXISTING STORM DRAIN LINE
- FLOW PATH LINE
- DMA BOUNDARY AREA
- FLOW DIRECTION

| PRE-CONSTRUCTION DMA SUMMARY |                 |                    |                      |
|------------------------------|-----------------|--------------------|----------------------|
|                              | TOTAL AREA (SF) | PERVIOUS AREA (SF) | IMPERVIOUS AREA (SF) |
| DMA 1                        | 171,353         | 153,704            | 17,649               |
| DMA 2                        | 113,164         | 101,508            | 11,656               |
| DMA 3                        | 73,371          | 65,814             | 7,557                |
| <b>TOTAL</b>                 | <b>357,888</b>  | <b>321,026</b>     | <b>36,862</b>        |



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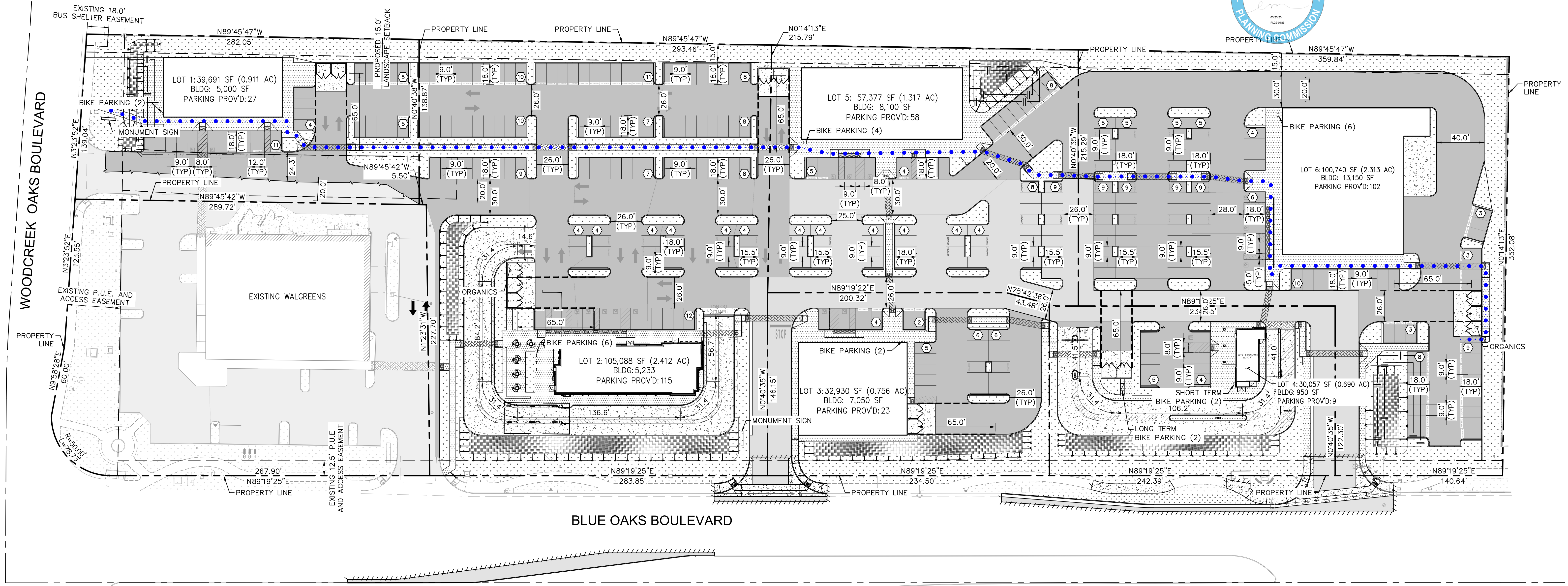
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EXISTING HYDROLOGY

SHEET NUMBER  
**SHEET 1 OF 1**



**LEGEND**

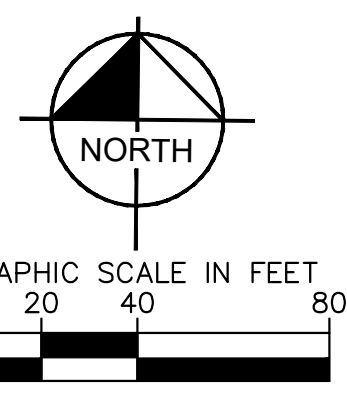
|  |  |  |  |  |   |
|--|--|--|--|--|---|
|  | PROPERTY LINE  |  | PROPOSED ASPHALT CONCRETE                          |  | PROPOSED LANDSCAPE AREA                       |
|  | APPROXIMATE CIVIL LIMIT OF WORK                                  |  | PROPOSED CONCRETE SIDEWALK                         |  | PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER |
|  | EASEMENT OR SETBACK LINE   |  | PROPOSED HEAVY DUTY CONCRETE                       |  | PROPOSED RIPRAP                               |
|  | SETBACK LINE   |  | STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL |  |   |
|  | SAWCUT LINE  |  |  |  |   |
|  | CENTERLINE   |  |  |  |   |
|  | ACCESSIBLE ADA PATH OF TRAVEL (FOR REFERENCE ONLY, DO NOT PAINT) |  |  |  |   |
|  | TRASH ENCLOSURE APPROACH (FOR REFERENCE ONLY, DO NOT PAINT)      |  |  |  |   |
|  | ROW PARKING COUNT  |  |  |  |   |

**ABBREVIATIONS**

|       |                    |     |                   |
|-------|--------------------|-----|-------------------|
| BLDG  | - BUILDING         | INV | - INVERT          |
| C/L   | - CENTERLINE       | LP  | - LOW POINT       |
| CO    | - CLEANOUT         | MH  | - MANHOLE         |
| CONC. | - CONCRETE         | N   | - NORTH           |
| DI    | - DRAIN INLET      | P/L | - PROPERTY LINE   |
| E     | - ELECTRIC OR EAST | R   | - RIDGE OR RADIUS |
| ESMT  | - EASEMENT         | R/W | - RIGHT-OF-WAY    |
| FF    | - FINISHED FLOOR   | S   | - SOUTH           |
| FG    | - FINISHED GRADE   | SD  | - STORM DRAIN     |
| FL    | - FLOW LINE        | SS  | - SANITARY SEWER  |
| FS    | - FINISHED SURFACE | TC  | - TOP OF CURB     |
| FW    | - FIRE WATER       | VF  | - VERIFY IN FIELD |
| GB    | - GRADE BREAK      | W   | - WATER OR WEST   |
| HP    | - HIGH POINT       |     |                   |

**GENERAL NOTES**

- RETAIL CENTER WILL PROVIDE RECIPROCAL EASEMENTS BETWEEN THE LOTS FOR ACCESS, DRAINAGE, AND UTILITIES.
- RETAIL CENTER WILL PROVIDE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL.
- PAVING MATERIAL OF THE WALKWAYS THROUGHOUT THE CENTER WILL BE CONSISTENT WITH THE ARCHITECTURAL TYPE OF THE CENTER. CENTER WILL PROVIDE STAMPED AND/OR COLORED CONCRETE OR PAVERS AS A DECORATIVE ACCENT THROUGHOUT THE CENTER TO PROVIDE A PATH OF TRAVEL FOR PEDESTRIANS.

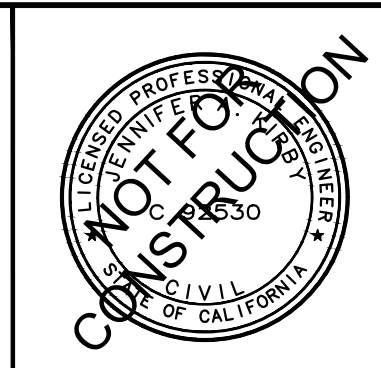


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| DRAWN BY    | CKC        |
| CHECKED BY  | JAK        |

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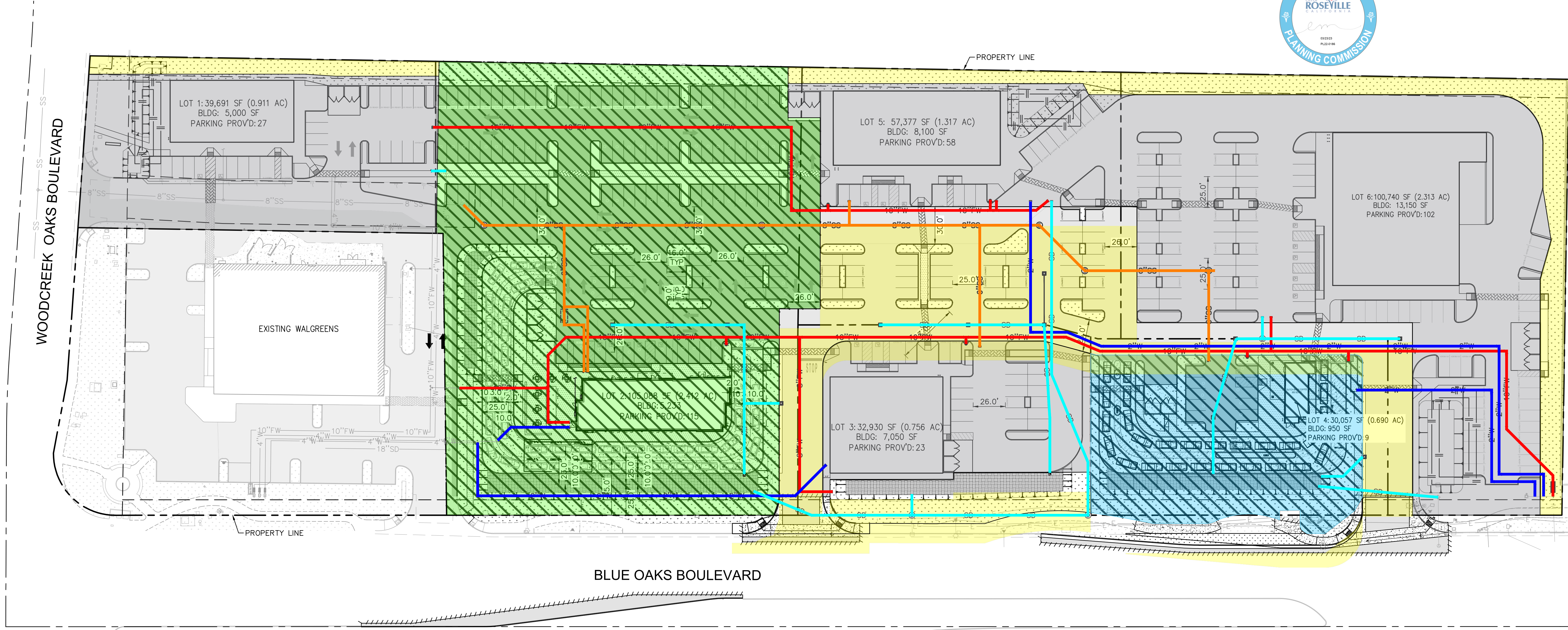


PRELIMINARY ONSITE & OFFSITE  
 IMPROVEMENTS EXHIBIT

SHEET NUMBER

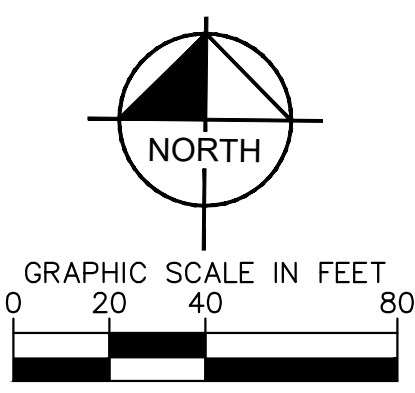
EX1.0

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**LEGEND**

- PRELIMINARY PHASE 1A (DEVELOPER)
- PRELIMINARY PHASE 1B (DUTCH BROTHERS)
- PRELIMINARY PHASE 1C (CHICK-FIL-A)
- FUTURE PHASE 2
- PHASE 1 SEWER
- PHASE 1 FIRE
- PHASE 1 DOMESTIC WATER
- PHASE 1 STORM DRAIN



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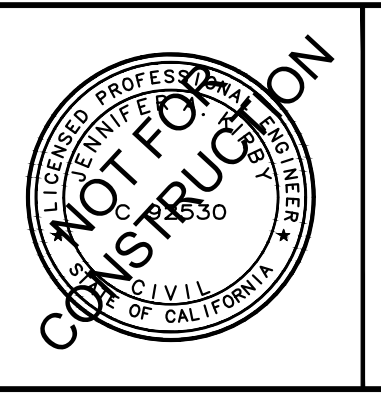
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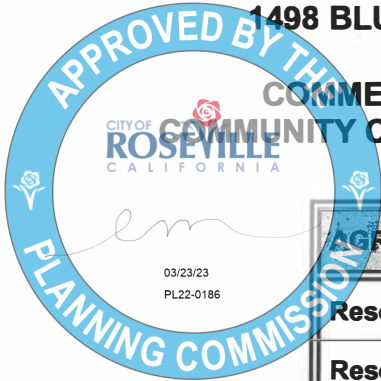


PRELIMINARY PHASING PLAN EXHIBIT

SHEET NUMBER  
**EX 2.0**

## 1498 BLUE OAKS BLVD - BLUE OAKS RETAIL CENTER

### COMMERCIAL ZONE DISTRICTS PERMITTED USES FOR COMMUNITY COMMERCIAL WITH SPECIAL AREA OVERLAY (CC/SA)



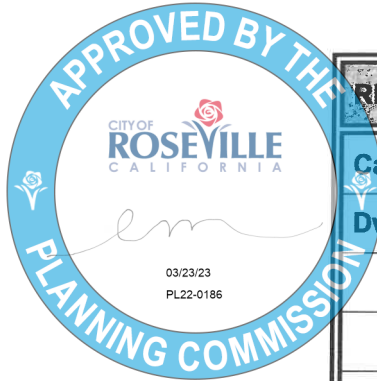
| AGRICULTURE AND OPEN SPACE USE TYPES |  | CC  |
|--------------------------------------|--|-----|
| Resource Protection and Restoration  |  | CUP |
| Resource Related Recreation          |  | P   |

| CIVIC USE TYPES                  |  | CC  |
|----------------------------------|--|-----|
| Community Assembly               |  | P   |
| Community Services               |  | P   |
| Essential Services               |  | P   |
| Hospital Services                |  |     |
| General Hospital Services        |  | CUP |
| Psychiatric Hospital Services    |  | CUP |
| Libraries and Museums, Private   |  | P   |
| Public Parking Services          |  | P   |
| Schools                          |  |     |
| College and University           |  | P   |
| Elementary and Secondary         |  | P   |
| Private Elementary and Secondary |  | CUP |
| Social Services                  |  |     |
| Food Distribution                |  | -   |
| Food Service                     |  | -   |
| Temporary Resident Shelter       |  | -   |
| Power Generating Facilities (9)  |  |     |
| Emergency                        |  | A   |
| Supplemental / Individual Use    |  | CUP |
| Passive Power                    |  | A   |

APPROVED BY:  
PLANNING COMMISSION  
CITY OF ROSEVILLE

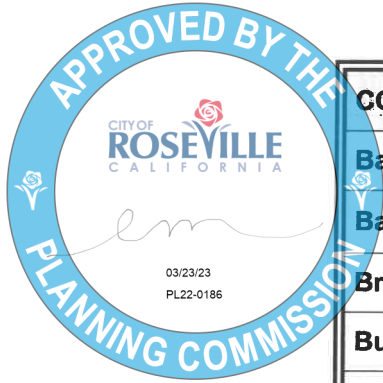
FEB 28 2014

ATTEST:



| <b>RESIDENTIAL USE TYPES</b>      |            |
|-----------------------------------|------------|
| <b>Caretaker/Employee Housing</b> | <b>CUP</b> |
| <b>Dwelling</b>                   |            |
| Multi-Family                      | <b>CUP</b> |
| Single-Family                     | <b>CUP</b> |
| Two-Family                        | <b>CUP</b> |
| Family Day Care Home, Small       | <b>P</b>   |
| Family Day Care Home, Large       | <b>CUP</b> |
| Single Room Occupant              | <b>-</b>   |

| <b>COMMERCIAL USE TYPES</b>          |            |
|--------------------------------------|------------|
| <b>Adult Oriented Businesses (2)</b> | <b>-</b>   |
| <b>Animal Sales and Service</b>      |            |
| Grooming and Pet Stores              | <b>P</b>   |
| Kennels                              | <b>-</b>   |
| Veterinary Clinic                    | <b>P</b>   |
| Veterinary Hospital                  | <b>CUP</b> |
| <b>Automotive and Equipment</b>      |            |
| Automotive Rentals                   | <b>-</b>   |
| Automotive Repairs                   | <b>CUP</b> |
| Automotive Sales                     | <b>CUP</b> |
| Car Wash and Detailing               | <b>CUP</b> |
| Commercial Parking                   | <b>-</b>   |
| Heavy Equipment Rental and Sales     | <b>-</b>   |
| Equipment Repair                     |            |
| Gasoline Sales                       | <b>P</b>   |



|   |                            |
|---|----------------------------|
| <b>COMMERCIAL USE TYPES</b>               | <b>CC</b>                  |
| <b>Banks and Financial Services</b>       | P                          |
| <b>Bars and Drinking Places</b>           | <del>P</del><br><u>CUP</u> |
| <b>Broadcasting and Recording Studios</b> | -                          |
| <b>Building Material Stores</b>           | CUP                        |
| <b>Business Support Services</b>          | P                          |
| <b>Commercial Recreation</b>              |                            |
| Amusement Center                          | P                          |
| Indoor Entertainment                      | <del>P</del>               |
| Indoor Sports and Recreation              | <del>P</del>               |
| Outdoor Entertainment                     | -                          |
| Outdoor Sports and Recreation             | -                          |
| Large Amusement Complexes                 | -                          |
| <b>Community Care Facility</b>            | P                          |
| <b>Day Care Center</b>                    | P                          |
| <b>Eating and Drinking Establishments</b> |                            |
| Fast Food with Drive-Thru                 | P                          |
| Convenience                               | P                          |
| Full Service                              | P                          |
| <b>Food and Beverage Retail Sales</b>     | P                          |
| <b>Funeral and Internment Services</b>    | <del>P</del>               |
| <b>Lodging Services</b>                   | <del>P</del>               |
| <b>Long Term Care Facility</b>            | <u>PCUP</u>                |
|   |                            |
| <b>Medical Services</b>                   | P                          |
| <b>Neighborhood Commercial</b>            | -                          |
| <b>Nightclubs (6)</b>                     | CUP                        |
| <b>Nursery, Retail</b>                    | -                          |
| <b>COMMERCIAL USE TYPES</b>               | <b>CC</b>                  |
| <b>Offices, professional</b>              | P                          |



|   |   |
|---|---|
| <b>Personal Services</b>                  | P |
| <b>Retail Sales and Services</b>          | P |
| <b>Specialized Education and Training</b> |   |
| Vocational Schools                        | P |
| Specialty Schools                         | P |
|   |   |

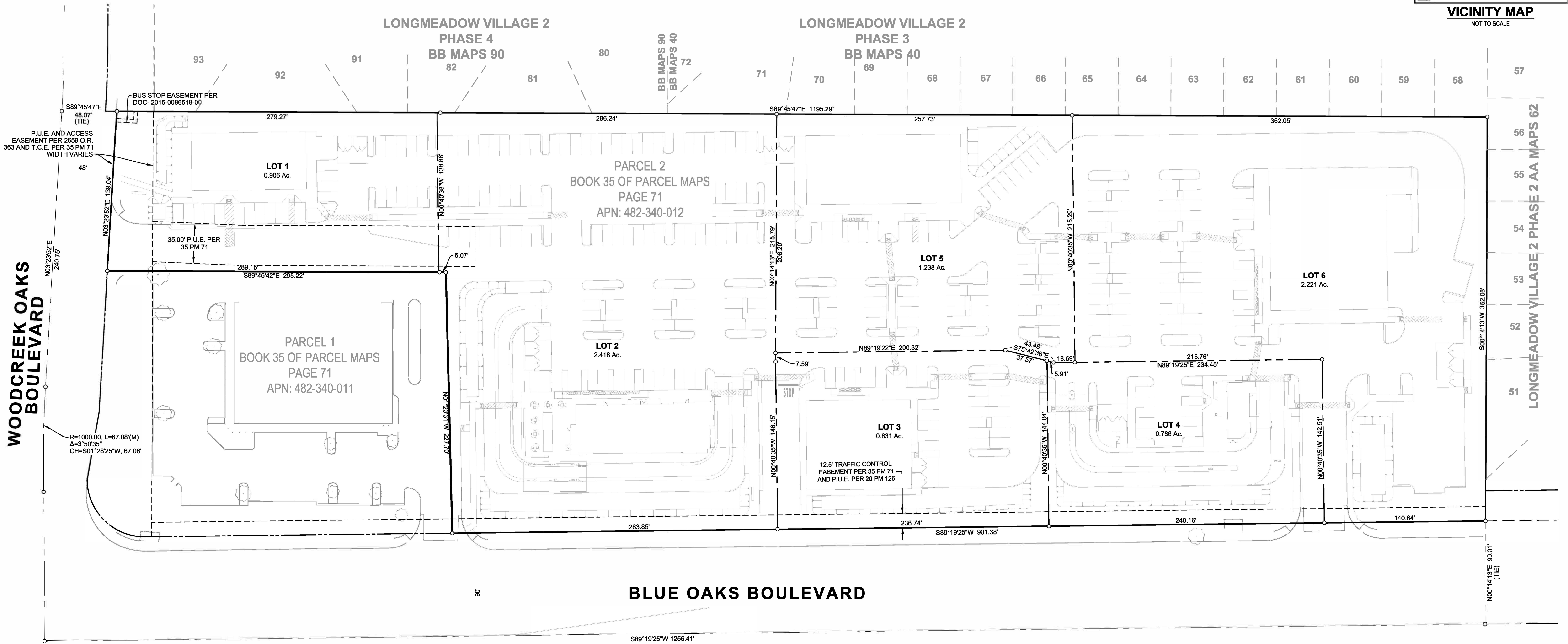
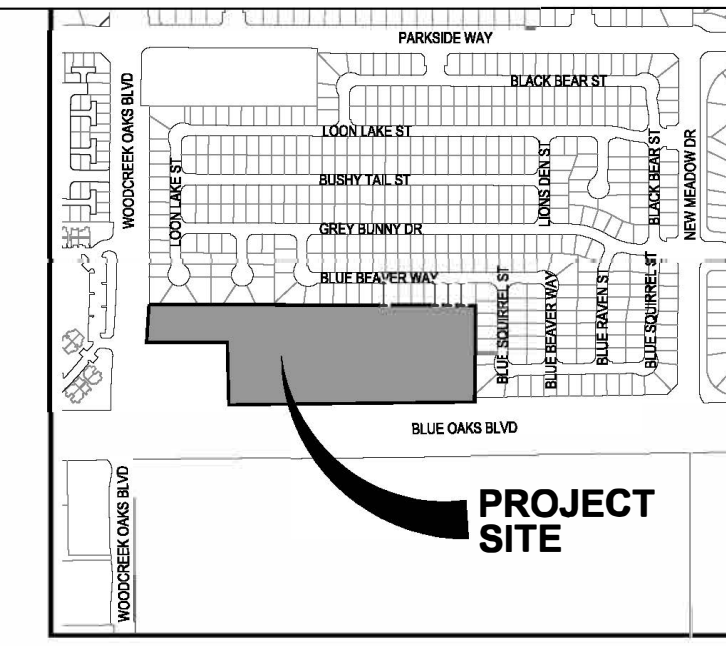
|                                     |           |
|-------------------------------------|-----------|
| <b>INDUSTRIAL USE TYPES</b>         | <b>CC</b> |
| Laundries, Commercial               | CUP       |
| Printing & publishing               | -         |
| Research Services                   | -         |
| Wholesaling and Distribution, Light | -         |

|   |              |
|---|--------------|
| <b>TRANSPORTATION AND COMMUNICATION USE TYPES</b> | <b>CC</b>    |
| Telecommunication Facilities (7)                  | P/AP/<br>CUP |
| Heliport  | CUP          |
| Intermodal Facilities (8)                         | CUP          |

**ZONE DISTRICT STANDARDS:**

- 1) All truck deliveries to the project site (both heavy duty trucks and side-step vans) shall be limited to daytime hours between 7:00 a.m. and 10:00 p.m. Signs shall be posted in the loading dock/delivery areas stating the approved delivery hours.
- 2) Delivery vehicles shall not idle for more than five minutes at any time and shall turn off their engines when deliveries take place.
- 3) If a use that requires deliveries by 18 wheel trucks or a loading dock locates within the Minor Anchor or Retail Shops building, a sound wall shall be constructed to enclose the loading dock to reduce the noise impacts of truck deliveries.
- 4) Pad 2 shall only be occupied by the following uses: Business Support Services, Professional Office and/or Medical Offices.
- 5) Pad 5 (Lot 5) shall prohibit Fast Food Restaurant Uses.

**TENTATIVE SUBDIVISION MAP**  
 FOR  
**BLUE OAKS RETAIL CENTER PHASE 2**  
 CITY OF ROSEVILLE PLACER COUNTY CALIFORNIA  
**CUNNINGHAM ENGINEERING**  
 FEBRUARY 2023



**OWNER**  
 ROSEVILLE BLUE OAKS PARTNERS, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 30 EAST 23rd STREET, 10th FLOOR  
 NEW YORK, NY 10010  
 (917) 688-4020

**APN**  
 482-340-012

**ZONING**  
 COMMUNITY COMMERCIAL / SPECIAL AREA (CC/SA)

**CIVIL ENGINEER**  
 CUNNINGHAM ENGINEERING  
 2120 20th STREET, SUITE 3  
 SACRAMENTO, CALIFORNIA 95818  
 (916) 455-2026

**AREA**  
 8.40± Ac  
 6 LOTS

**SPECIFIC PLAN:**  
 NORTH INDUSTRIAL  
 SPECIFIC PLAN AREA

**ARCHITECT**  
 BORGES ARCHITECTURAL GROUP  
 1478 STONE POINT DRIVE, SUITE 350  
 ROSEVILLE, CALIFORNIA 95661  
 (916) 782-7200

**LAND USE**  
 COMMUNITY COMMERCIAL (CC)

**BASIS OF BEARINGS**  
 THE CENTERLINE OF BLUE OAKS BOULEVARD PER BOOK AA PAGE 28

**BENCHMARK**  
 CITY OF ROSEVILLE BM96, 3-1/4" BRASS DISC STAMPED "SEPTEMBER 2000 LS5978" AT THE TOP OF CURB 1 FOOT SOUTH OF D.I. AT THE SW CORNER OF THE INTX. OF BLUE OAKS BLVD. & WOODCREEK OAKS BLVD. EL=114.97' (NAVD88)

**FLOOD ZONE**  
 ZONE X: PER MAP NO. 06061C0937H DATED NOVEMBER 2, 2018.

- NOTES:**
- THIS MAP WAS PREPARED UNDER THE DIRECTION OF CHARLES W. CUNNINGHAM, RCE 30339.
  - ALL INFORMATION ON THIS MAP IS DEEMED TO BE OF A PRELIMINARY NATURE, AND IS NOT TO BE RELIED ON FOR SURVEY OR PROPERTY LINE INFORMATION.
  - THE EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON A FIELD SURVEY PERFORMED MORROW SURVEYING, DATED FEBRUARY 2022.
  - THIS SUBDIVISION IS A SUBDIVISION OF PARCEL 2 AS SHOWN ON THE PARCEL MAP OF "BLUE OAKS RETAIL CENTER", FILED OCTOBER 10, 2014 IN BOOK 35 OF PARCEL MAPS PAGE 71, PLACER COUNTY RECORDS.
  - THE PROPOSED SITE IMPROVEMENTS ARE BASED ON A SITE PLAN PREPARED BY KIMLEY-HORN DATED JUNE 2022.
  - THE SUM OF THE PARTS OF A LINE OR CURVE MAY NOT EQUAL THE WHOLE LENGTH DUE TO ROUNDING OF DISTANCES.
  - OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE AND UTILITIES PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.
  - OWNER RESERVES THE RIGHT TO FILE FINAL MAPS IN PHASES.

**LEGEND**

|  |                            |
|--|----------------------------|
|  | SUBDIVISION BOUNDARY       |
|  | NEW LOT LINE               |
|  | EXISTING EASEMENT          |
|  | PROPOSED SITE IMPROVEMENTS |
|  | PROPOSED BUILDING WALL     |
|  | ADJACENT PROPERTY LINE     |
|  | EXISTING STREET CENTERLINE |

**DISTRICTS**

|                 |                                 |
|-----------------|---------------------------------|
| SEWER           | CITY OF ROSEVILLE               |
| WATER           | CITY OF ROSEVILLE               |
| STORM DRAIN     | CITY OF ROSEVILLE               |
| ELECTRIC        | CITY OF ROSEVILLE               |
| GAS             | PG&E                            |
| SCHOOL DISTRICT | ROSEVILLE CITY SCHOOL DISTRICT  |
| FIRE DISTRICT   | CITY OF ROSEVILLE FIRE DISTRICT |
| PARK DISTRICT   | CITY OF ROSEVILLE               |

**SHEET 1 OF 1**

SCALE IN FEET